



AGENDA

**REGULAR MEETING OF THE CITY COUNCIL
City of Garland
Duckworth Building, Goldie Locke Room
217 North Fifth Street
Garland, Texas
June 2, 2015
7:00 p.m.**

The City Council extends to each visitor a sincere welcome. We value your interest in your community and your participation in the meetings of this governing body. Regular meetings of the City Council are held the 1st and 3rd Tuesdays of each month, beginning at 7:00 p.m.; the City Council meets regularly in work sessions at 6:00 p.m. the Monday preceding each regular meeting.

The Duckworth Building is wheelchair accessible. Special parking is available on the north side of the building on Austin Street and may be accessed by a sloped ramp from the street to the door facing Fifth Street. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. **BRILLE IS NOT AVAILABLE.**

CITY COUNCIL GOALS 2020

(Adopted by Resolution No. 9402 on December 20, 2005)

- **Sustainable quality development and redevelopment**
- **Financially stable government with tax base that supports community needs**
- **Defends rightful powers of municipalities**
- **Fully informed and engaged citizenry**
- **Consistent delivery of reliable City services**
- **Safe, family-friendly neighborhoods**
- **Embrace diversity**

MAYORAL PROCLAMATIONS, RECOGNITIONS AND ANNOUNCEMENTS

The Mayor may present proclamations and recognize attendees or award winners, and may make announcements regarding upcoming City events and matters of interest to citizens. There will be no Council deliberations or votes on these matters.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of Council, without discussion. Council has been briefed on these items at a previous work session and approval of the consent agenda authorizes the City Manager to implement each item. The Mayor will announce the agenda and provide an opportunity for members of the audience and the City Council to request that an item be removed and considered separately.

1. Consider approval of the minutes of the May 19, 2015 Regular Meeting.

2. Consider approval of the following bids:

a. Autotransformer for Denton Substation Bid No. 5012-15

WEG Electric Co.	\$1,330,000.00
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This request is to replace the spare Denton transformer that was used for the TMPA Bryan-East Substation when that transformer failed.

b. Gibbons Creek Substation Expansion Bid No. 5254-15

Lambda Construction I, Ltd.	\$1,374,000.00
Optional Contingency	<u>137,400.00</u>
TOTAL	<u>\$1,511,400.00</u>

This request is to provide all construction labor and equipment required for the expansion of the 345 kV reactor additions at the TMPA Gibbons Creek Substation. Due to the complex nature of the project, an Optional Contingency is included for any unforeseen additional work that may be required.

c. Kraft Transmission Loop Materials

Bid No. 5350-15

Techline, Inc.	\$277,665.80
Refundable Reel Deposit	\$2,400.00
Optional Contingency	<u>25,000.00</u>
TOTAL	<u>\$305,065.80</u>

This request is to provide steel transmission poles and related materials needed for the Marquis to Kraft and Kraft to Fairdale 138 kV transmission line reconstruction. Due to the complex nature of the project, an Optional Contingency is included for any unforeseen additional work that may be required.

d. TMPA Protection Panel Upgrades

Bid No. 5362-15

G2 Electrical Testing and Consulting, LLC \$136,375.00

This request is to provide protection and control specialists to TMPA/GP&L at the Greenville Interchange to perform protection and control commissioning of substation equipment.

e. Emergency Management Communications

Bid No. 5443-15

Level 3 Communications \$150,000.00

This request is to provide real-time data communications services from the field to the Emergency Management System. This communication provides visibility into critical electrical substations for physical security monitoring in order to meet ERCOT and NERC requirements.

f. Hydraulic Excavator

Bid No. 5485-15

RDO Equipment Company \$243,435.00

This request is to purchase one John Deere 250 G Hydraulic Excavator to be used by the Street Department in their daily operations.

g. Lewisville Hydro Plant Turbine Rehabilitation **Bid No. 4987-15**

Kiser Hydro, LLC **\$330,500.00**

This request is to provide all labor, equipment, and materials required for the rehabilitation of the Lewisville Hydro Plant turbine.

h. Professional Engineering for Lookout Substation **Bid No. 5421-15**

R-Delta Engineers **\$407,850.00**

This request is to provide Professional Engineering Services for Garland Power & Light's new 138 kV switching station.

3. Public hearings were previously conducted for the following zoning cases. Council approved the requests and instructed staff to bring forth the following ordinances for consideration.

a. Zoning File No. 15-05, The Dimension Group

Consider an ordinance amending the zoning laws of the City of Garland by approving a Specific Use Permit for retail sales with gas pumps on a 1.436-acre tract of land zoned Planned Development District 83-27 for limited Shopping Center uses and located on the southwest corner of Campbell Road and Murphy Road.

b. Zoning File No. 15-08, Panda Restaurant

Consider an ordinance amending the zoning laws of the City of Garland by approving an amended Concept Plan, Detail Plan, and a Specific Use Permit for restaurant with drive through on property zoned Planned Development District 13-40 for general business uses, on a 0.869-acre tract of land located southeast of the intersection of West Centerville Road and IH 635.

c. Zoning File No. 15-14, Schwob Building Company

Consider an ordinance amending the zoning laws of the City of Garland by approving a Specific Use Permit for high risk use on property zoned Industrial-1 (I-1) District on a 30.57 acre tract of land located east of the intersection of Jupiter Road and West Miller Road providing for conditions, restrictions, and regulations.

4. **Consider an ordinance authorizing the issuance of City of Garland Combination Tax and Revenue Certificates of Obligation, Series 2015; providing for the payment of said certificates of obligation by the levy of an ad valorem tax upon all taxable property within the City and a limited pledge of the net revenues derived from the operation of the City's Water and Sewer System; providing the terms and conditions of such certificates of obligation and resolving other matters incident and relating to the issuance, payment, security, sale and delivery of said certificates of obligation, including the approval and execution of a Paying Agent/Registrar Agreement, and the approval and distribution of a Preliminary Official Statement pertaining thereto.**

At the April 21, 2015 Work Session, Council considered authorizing a Certificates of Obligation bond sale in the approximate amount of \$18 million to fund a portion of the approved 2015 CIP.

5. **Consider an ordinance adopting a fee schedule of charges to be assessed and collected under the Garland Development Code.**

With the adoption of the GDC at the May 19, 2015 Regular Meeting, a fee schedule must be adopted for the new ordinance. This is necessary because there are some applications in the GDC which were not in the old Comprehensive Zoning Ordinance.

6. **Consider an ordinance amending Chapter 51, "General Utility Provisions," of the Code of Ordinances of the City of Garland; providing a penalty clause, a savings clause, and a severability clause and providing an effective date.**

At the May 18, 2015 Work Session, Council considered modifying the water usage policies at the request of The North Texas Municipal Water District.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the City Secretary before speaking (cards are located at the entrance to the Council Chambers). The Mayor will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

7. Hold public hearings on the following zoning cases:

- a. Consider the application of Houshang Jahvani, requesting approval of 1) an amendment to Planned Development District 03-22 for Office-1 uses and 2) a Detail Plan for Medical Office. This property is located on the east side of Jupiter Road, approximately 140 feet north of the intersection of Jupiter Road and Collins Boulevard. (File No. 15-13, District 7)**

The applicant requests approval of an amendment to Planned Development for office-1 uses and a Detail Plan for Medical Office to build a 4,925-square foot medical office.

- b. Consider the application of Montgomery Motors requesting approval of a Specific Use Permit for Automobile Sales, used on property zoned Commercial-1 (C-1) District. This property is located at 4110 and 4106 O'Banion Road. (File No. 15-15, District 4)**

The applicant requests approval of the Specific Use Permit for automobile sales, used. Approval of a Specific Use Permit to allow for the continued sale of automobiles would be consistent with the adjacent zoning and land uses.

- c. Consider the application of AT&T Mobility requesting approval of 1) a Specific Use Permit for an Antenna, Commercial Type 2 on property zoned Shopping Center District and 2) a variance to Section 10-306.4(B) of the Comprehensive Zoning Ordinance regarding distance of Antenna, Commercial Type 2 from residential districts. This property is located at 3465 West Walnut Street. (File No. 15-16, District 6)**

The applicant requests renewal of a Specific Use Permit that expired in 2013 to allow the continued operation of a freestanding cell tower of approximately 75 feet in height. The tower is a monopole with external array antennas. There appear to be three sets of existing antennas on the tower.

- d. Consider the application of Metro Lumber Wholesale Co. d/b/a Dallas Cedar Company requesting approval of a Specific Use Permit for building materials on property zoned Commercial-2 (C-2) District. This property is located at 4233 Forest Lane. (File No. 15-18, District 6)**

The applicant requests approval of a Specific Use Permit for building materials for a period of 25 years. The proposed operation will not present a nuisance to the adjacent properties given that a large portion of the building materials sold will be screened from adjacent properties and Forest Lane. The utilization of the subject property for the building materials use is appropriate and consistent with the surrounding land use pattern.

- e. Consider the application of City of Garland requesting approval of a change of zoning from Agriculture District; Planned Development Districts 01-04, 01-23, 87-28, and 01-18 for Freeway Uses; Planned Development Districts 04-16, 01-05, 95-59, 98-05, and 05-08 for Mixed Uses; Planned Development District 00-27 for Office Uses; and Planned Development District 00-20 for Shopping Center Uses to a Planned Development District for Mixed-Uses. This property is located northeast of PGBT/SH 190, west of Holford Road, and south of the city limits line. (File No. 15-20, District 1)**

The applicant requests approval of the request for rezoning to a Planned Development District for Mixed Uses. By maximizing the use of the land through higher densities, mixed uses and urban forms, the Planned Development is compatible with the surrounding area and will influence the prospective developments along the SH 190 corridor. The development potential of the subject property has been evaluated from an economic perspective as well as a land use view point. By creating an activity center that has a distinctive community design, range of building types and uses, pedestrian-oriented streetscapes and open space, the proposed development would be consistent with the vision for this area.

8. Citizen comments.

Persons wishing to address issues not on the agenda may have three minutes to address Council at this time. Council is prohibited from discussing any item not posted according to the Texas Open Meetings Act.

9. Adjourn.

All Regular Council meetings are broadcast live on CGTV, Time Warner Cable Channel 16, and Verizon FIOS TV 44. Meetings are rebroadcast at 9:00 a.m. and 7:00 p.m. on Wednesday-Sunday and at 7:30 p.m. on Thursday. Live streaming and on-demand videos of the meetings are also available online at www.garlandtx.gov. Copies of the meetings can be purchased through the City Secretary's Office – audio CD's are \$1 each and DVD's are \$3 each.

The City Council of the City of Garland convened in regular session at 7:00 p.m. on Tuesday, May 19, 2015, in the Goldie Locke Room at The Duckworth Building, 217 North Fifth Street, Garland, Texas, with the following members present:

COUNCIL PRESENT:

Mayor	Douglas Athas
Mayor Pro Tem	Jim Cahill
Deputy Mayor Pro Tem	Marvin 'Tim' Campbell
Council Member	Anita Goebel
Council Member	Stephen Stanley
Council Member	B. J. Williams
Council Member	Billy Mack Williams
Council Member	Lori Barnett Dodson
Council Member	Scott LeMay

STAFF PRESENT:

City Manager	Bryan L. Bradford
City Attorney	Brad Neighbor
City Secretary	Eloyce René Dowl

CALL TO ORDER:

The meeting was called to order by Mayor Douglas Athas. Council Member Anita Goebel, District 2, led the invocation and Pledge of Allegiance.

CEREMONIALS:

The swearing in ceremony for Mayor, Council Districts 3, 6, 7, 8, and the City Manager was conducted.

The Council previously canceled the May 9, 2015 election (Ordinance No. 6764) for unopposed candidates for Mayor, Council Districts 3, 6, 7, and 8 and declared the following unopposed candidates within those districts as follows:

Mayor, Douglas Athas
Council Member District 3: Stephen Stanley
Council Member District 6: Lori Barnett Dodson
Council Member District 7: Scott LeMay
Council Member District 8: Jim Cahill

City Manager: Bryan L. Bradford

CONSENT AGENDA:

All items marked with asterisks (**) on the Consent Agenda were voted on at the beginning of the meeting. Mayor Athas read those items into the record. Motion was made by Council Member Goebel, seconded by Council Member Dodson, to approve items 1, 2, 3a, 3b, 3c, 4, 5, 6, and 7. Motion to approve carried with, 9 ayes, 0 nays.

1. APPROVED** Approval of the minutes of the May 5, 2015 Regular Meeting.

2. APPROVED** Bid No. 5399-15 to AMETEK Power Instruments in the amount of \$224,980.00 for the Pulsar Network Communications Upgrade.

This request is to provide for Phase II of the Pulsar Network Communications Upgrade at Garland Power & Light's Substations. This upgrade is required to detect high-speed relay tripping and provide transmission line protection.

3a. APPROVED** Ordinance 6770 approving an amendment to the zoning laws of the City of Garland by approving a Specific Use Permit for retail sales with gas pumps on property zoned Shopping Center District, on a 2.245-acre tract of land located at 2018 Northwest Highway. (Zoning File No. 15-10)

3b. APPROVED** Ordinance 6771 approving an amendment to the zoning laws of the City of Garland for the Planned Development District 01-03 and Planned Development District 14-38 for limited Shopping Center uses, an amended detail plan and a Specific Use Permit for a restaurant with a drive-through on a 0.802-acre tract of land located on the southeast corner of Lavon Drive and Foster Road. (Zoning File No. 15-11)

3c. APPROVED** Ordinance 6772 approving an amendment to the zoning laws of the City of Garland for the Planned Development District 08-11 for townhouse and duplex uses and a detail for three townhouse and duplex structures on approximately 2.2 acres and generally located south of High Meadow Drive and west of East Centerville Road providing for conditions, restrictions, and regulations. (Zoning File No. 15-12)

4. APPROVED** Resolution 10202 authorizing the City Manager to enter into a Purchase Agreement for a 3.16 acre tract of land located in and around Spring Creek Greenbelt.

At the May 4, 2015 Work Session, Council considered the City's offer of \$350,000 on a vacant parcel of land at 5800 Shiloh Road. The 3.16 acre or 137,824 square foot parcel is located at the corner of Shiloh Road and Mapleridge Drive. The property shares north and east boundaries with existing park land and provides a desirable contiguous greenbelt connection between both banks of Spring Creek.

5. APPROVED** Resolution 10203 authorizing the City Manager to enter into an interlocal agreement with the City of Sachse.
- At the May 4, 2015 Work Session, Council considered whether to enter into an interlocal agreement with the City of Sachse allowing for the proper construction of Pleasant Valley Road at the City limit lines and including a portion of Sachse's proposed wastewater main in Garland as part of Garland's bid package.
6. APPROVED** Resolution 10204 appointing Bryan L. Bradford as the City Manager of the City of Garland.
7. APPROVED** Minute action by the City Manager to execute an interlocal agreement with the City of Mesquite for the installation of a CASA radar site.
- At the May 18, 2015 Work Session, Council was requested to consider approval by minute action the interlocal agreement with the City of Mesquite.
8. APPROVED Ordinance No. 6773 adopting the Garland Development Code.
- At the May 18, 2015 Work Session, Council was requested to consider the adoption of an ordinance adopting the Garland Development Code.
- Mayor Athas opened the public hearing at 7:15 p.m. The speakers on this item were Neil Montgomery, Sr. Managing Director of Economic Development, Dean Flowers, Barb Onstot, DCI, Garold May, and Phillip Latrhop. Motion to approve was made by Council Member Stanley seconded by Council Member B. J. Williams to close the public hearing and approve at 7:26 p.m. Motion to approve carried with 9 ayes and 0 nays.
- 9a. APPROVED Consider the Economic Incentive Agreement for Andersen Menomonie.

Ordinance No. 6774 designating an area as a Reinvestment Zone for Commercial/Industrial Tax Abatement; making certain findings thereon; authorizing the City Manager to execute an agreement regarding the reinvestment zone.

9b. APPROVED

Resolution No. 10205 authorizing the City Manager to execute a Tax Abatement Agreement with Andersen Menomonie, Inc. and providing an effective date.

Mayor Athas opened the public hearing at 7:28 p.m. The speakers on this item were Paul Mayer, CEO, Garland Chamber of Commerce and Christopher Chesla, Andersen Menomonie, Inc. Motion to approve was made by Deputy Mayor Pro Tem Campbell seconded by Council Member Dodson to close the public hearing and approve at 7:31 p.m. Motion to approve carried with 9 ayes and 0 nays.

10a. APPROVED

Consider the application of the Dimension Group, requesting approval of a Specific Use Permit for retail sales with gas pumps on a property zoned Planned Development District 83-27 for Limited Shopping Center Uses. This property is located at the southwest corner of Campbell Road and Murphy Road. (File No. 15-05, District 1)

The applicant requests approval of a Specific Use Permit to develop the site with a 7-Eleven gas station that will consist of a 3,010 square foot retail building, a 3,640 square foot canopy over 8 gas pumps and a 966 square foot stand-alone automated car wash structure.

Mayor Athas opened the public hearing at 7:32 p.m. The speaker on this item was Will Guerin, Director of Planning. Motion to approve was made by Deputy Mayor Pro Tem Campbell seconded by Council Member LeMay to close the public hearing and approve at 7:35 p.m. Motion to approve carried with 9 ayes and 0 nays.

10b. APPROVED

Consider the application of Panda Restaurant, requesting approval of 1) an amended Concept Plan, a Detail Plan, and a Specific User Permit for Restaurant with Drive Through on property zoned Planned Development District 13-40 for General Business Uses and 2) variances to the IH 6345 Development Standards including to Section 34.21(C)(3) regarding freestanding signs and Section 34.21©(4)

regarding attached signage. This property is located southeast of the intersection of West Centerville Road and IH 635. (File No. 15-08, District 5)

Mayor Athas opened the public hearing at 7:36 p.m. The speakers on this item were Will Guerin, Director of Planning, Karl Crawley, Panda Express, and Tom Rud, Panda Express. Motion to approve was made by Council Member Billy Mack Williams seconded by Council Member Goebel to close the public hearing and approve at 7:58 p.m. Motion to approve carried with 9 ayes and 0 nays.

10c. APPROVED

Consider the application of Schwob Building Company, requesting approval of a Specific Use Permit for a High Risk Use on property zoned Industrial-1 (I-1) District. This property is located east of the Northeast intersection of Jupiter and West Miller Road. (File No. 15-14, District 6)

The applicant requests approval of the Specific Use Permit for a period of 25 years.

Mayor Athas opened the public hearing at 8:00 p.m. The speakers on this item were Will Guerin, Director of Planning and Gale Roberge, Schwob Building Company. Motion to approve was made by Council Member Dodson seconded by Council Member LeMay to close the public hearing and approve at 8:04 p.m. Motion to approve carried with 9 ayes and 0 nays.

11. CITIZEN COMMENTS

12. ADJOURN

There being no further business to come before the Council, Mayor Athas adjourned the meeting at 8:05 p.m.

CITY OF GARLAND, TEXAS

/s/Douglas Athas, Mayor

/s/ Eloyce, René Dowl, City Secretary



Purchasing Report

AUTOTRANSFORMER FOR DENTON SUBSTATION OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this bid is to replace the spare Denton transformer that was used for the TMPA Bryan-East Substation when that transformer failed. This is an approved Capital Improvement project, and expenditures will not exceed appropriated funds.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
WEG Electric Co.		\$1,330,000.00
	TOTAL:	<u>\$1,330,000.00</u>

BASIS FOR AWARD:

Straight Low Bid

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.

Director of Procurement

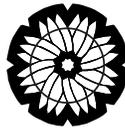
Bryan L. Bradford

City Manager

Date: 05/21/15

Date: 05/26/15

<u>FINANCIAL SUMMARY:</u>			
Total Project/Account:	\$ 2,212,807	Operating Budget:	<input type="checkbox"/> CIP: <input checked="" type="checkbox"/> Year: <u>2015</u>
Expended/Encumbered to Date:	-0-	Document Location:	<u>Page E01</u>
Balance:	\$ 2,212,807	Account #:	215-3542-3176601-6051 (EC-S5766-002-1-6051)
This Item:	1,330,000	Fund/Agency/Project – Description:	Electric CIP Fund / Transmission Lines
Proposed Balance:	\$ 882,807	Comments:	
Trent Schulze	05/22/15		
Budget Analyst	Date		
Ron Young	05/22/15		
Budget Director	Date		



GARLAND

PURCHASING

Executive Summary **Bid 5012-15** **Autotransformer for Denton Substation**

Recommended Vendor:

WEG Electric Co.

Total Recommended Award:

\$1,330,000.00

Basis for Award:

Straight Low Bid

Purpose:

The purpose of this bid is to replace the spare Denton transformer that was used for the TMPA Bryan-East Substation when that transformer failed.

Evaluation:

Requests for bids were issued in accordance with Purchasing procedures. Seventeen (17) bids were received and evaluated. ABB, Inc. was originally selected as the straight low bidder, but their additional shipping and testing costs were not factored into the evaluation. After factoring in the additional costs, WEG Electric Co. was selected as the straight low bidder.

Recommendation:

Staff recommends awarding the bid to WEG Electric Co as the straight low bidder.

Funding Information:

This item will be funded from the TMPA Spare Autotransformer CIP project 215-3542-3176601-6051 (EC-S5766-002-1-6051).

Department Director:

Ross Owen, Transmission & Distribution Director, 972-205-3532



Purchasing Report

GIBBONS CREEK SUBSTATION EXPANSION OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide all construction labor and equipment required for the expansion of the 345 kV reactor addition at the TMPA Gibbons Creek Substation. Due to the complex nature of the project, an Optional Contingency is included for any unforeseen additional work that may be required. This is an approved Capital Improvement project, and expenses will not exceed appropriated funds.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Lambda Construction I, Ltd.	All	\$1,374,000.00
Optional Contingency		137,400.00
	TOTAL:	\$1,511,400.00

BASIS FOR AWARD:

Best Value

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.
 Director of Procurement

Bryan L. Bradford
 City Manager

Date: _____

Date: 05/26/15

<u>FINANCIAL SUMMARY:</u>	
Total Project/Account: \$ 13,730,704	Operating Budget: <input type="checkbox"/> CIP: <input checked="" type="checkbox"/> Year: 2015
Expended/Encumbered to Date: 6,089,146	Document Location: Page E01
Balance: \$ 7,641,558	Account #: 215-3542-3175501-7111 (EC-T5755-003-1-7111)
This Item: 1,511,400	Fund/Agency/Project – Description: Electric CIP Fund / Transmission Lines
Proposed Balance: \$ 6,130,158	Comments:
Trent Schulze 05/22/15 Budget Analyst Date	
Ron Young 05/22/15 Budget Director Date	

CITY OF GARLAND - BID RECAP SHEET OPENED: 04/30/15 REQ. NO 33957 BID NO 5254-15 PAGE: 1 of 3 BUYER: R.Berger			Lambda Construction I, Ltd.	Re-Con Construction	Power Line Services, Inc.	Chapman Construction Co., L.P.
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I T E M	QTY	U N I T	DESCRIPTION								
				UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	1	lot	Bid Price for Evaluation		\$1,374,000.00		\$1,577,123.00		\$1,781,052.78		\$1,828,332.18
			Evaluation Criteria:								
			Price	Maximum = 30	30	26	21	20			
			Experience	Maximum = 20	17	0	15	19			
			Qualifications	Maximum = 20	18	0	18	19			
			Safety and Training	Maximum = 20	20	0	18	12			
			Adherence to Specification/Equipment	Maximum = 10	10	0	5	10			
			Total Score:	Maximum = 100	95	26	77	80			

TOTAL GROSS PRICE			\$1,374,000.00	\$1,577,123.00	\$1,781,052.78	\$1,828,332.18
CASH DISCOUNT						
TOTAL NET PRICE						
F.O.B.			DELIVERED	DELIVERED	DELIVERED	DELIVERED
DELIVERY						

NEXT LOW: \$1,577,123.00 LOW: \$1,374,000.00 SAVINGS: \$203,123.00	2455 # BidSync Notifications 38 # BidSync HUBS 26 # Direct Contact HUBS 0 # HUBS Responded	All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. <u>The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.</u>
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CITY OF GARLAND - BID RECAP SHEET OPENED: 04/30/15 REQ. NO 33957 BID NO 5254-15 PAGE: 2 of 3 BUYER: R.Berger			Pike Electric, LLC	Great Southwestern Construction, Inc.	System 3 Inc.	Hargraave Power
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ITEM	QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	1	lot	Bid Price for Evaluation		\$1,915,971.70		\$1,934,965.19		\$2,034,287.23		\$2,449,395.00
			Evaluation Criteria:								
			Price	Maximum = 30	18	18	16	7			
			Experience	Maximum = 20	14	19	14	15			
			Qualifications	Maximum = 20	0	18	0	18			
			Safety and Training	Maximum = 20	0	10	0	12			
			Adherence to Specificaiton/Equipment	Maximum = 10	0	8	5	10			
			Total Score:	Maximum = 100	32	73	35	62			

TOTAL GROSS PRICE	\$1,915,971.70	\$1,934,965.19	\$2,034,287.23	\$2,449,395.00
CASH DISCOUNT				
TOTAL NET PRICE				
F.O.B.	DELIVERED	DELIVERED	DELIVERED	DELIVERED
DELIVERY				

NEXT LOW: _____
LOW: _____
SAVINGS: \$0.00

BidSync Notifications
 # BidSync HUBS
 # Direct Contact HUBS
 # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.

CITY OF GARLAND - BID RECAP SHEET
 OPENED: 04/30/15
 REQ. NO 33957
 BID NO 5254-15
 PAGE: 3 of 3
 BUYER: R.Berger

HD Supply

ITEM	QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	1	lot	Bid Price for Evaluation		\$231,195.46						
			No documentation provided								
			Evaluation Criteria:								
			Price	Maximum = 30	0						
			Experience	Maximum = 20	0						
			Qualifications	Maximum = 20	0						
			Safety and Training	Maximum = 20	0						
			Adherence to Specificaiton/Equipmer	Maximum = 10	0						
			Total Score:	Maximum = 100	0						

TOTAL GROSS PRICE	\$231,195.46	\$0.00	\$0.00	\$0.00
CASH DISCOUNT				
TOTAL NET PRICE				
F.O.B.	DELIVERED	DELIVERED	DELIVERED	DELIVERED
DELIVERY				

NEXT LOW: _____
LOW: _____
SAVINGS: \$0.00

BidSync Notifications
 # BidSync HUBS
 # Direct Contact HUBS
 # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.



GARLAND

PURCHASING

Executive Summary **Bid 5254-15** **Gibbons Creek Substation Expansion**

Recommended Vendor:

Lambda Construction I, Ltd.

Total Recommended Award:

\$1,511,400.00

Basis for Award:

Best Value

Purpose:

The purpose of this contract is to provide all construction labor and equipment required for the expansion of the 345kV reactor addition at the TMPA Gibbons Creek Substation.

Evaluation:

Requests for bids were issued in accordance with Purchasing procedures. Nine (9) bids were received and evaluated on the published criteria of price, experience, qualifications, safety, and equipment. HD Supply Power Solutions' bid was incomplete and below the competitive range, and was therefore considered non-responsive. Lambda Construction, Ltd. submitted the lowest responsible bid and received the highest evaluated score, offering the best value to the City.

Recommendation:

Staff recommends awarding the contract to Lambda Construction, Ltd. as the vendor offering the best value to the City.

Funding Information:

This will be funded from the GPL/TMPA Gibbons Creek Reactive Support CIP project 215-3542-3175501-71111 (EC-T5755-003-1-7111).

Department Director:

Ross Owen, Transmission & Distribution Director, 972-205-3532



Purchasing Report

KRAFT TRANSMISSION LOOP MATERIALS OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this bid is to provide steel transmission poles and related materials needed for the Marquis to Kraft and Kraft to Fairdale 138 kV transmission line reconstruction. This is part of the approved Kraft Transmission Loop CIP project. Due to the complex nature of the project, an Optional Contingency is included for any unforeseen additional work that may be required. Expenditures will not exceed appropriated funds.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Techline, Inc.	1-66	\$277,665.80
Refundable Reel Deposit		2,400.00
Optional Contingency		25,000.00
	TOTAL:	\$305,065.80

BASIS FOR AWARD:

Lowest Responsible Bid

Submitted by:

Reviewed by:

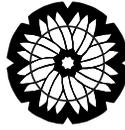
Gary L. Holcomb, CPPO, C.P.M.
Director of Procurement

Bryan L. Bradford
City Manager

Date: 05/21/15

Date: 05/26/15

<u>FINANCIAL SUMMARY:</u>			
Total Project/Account:	\$ 3,592,972	Operating Budget:	<input type="checkbox"/> CIP: <input checked="" type="checkbox"/> Year: 2015
Expended/Encumbered to Date:	849,340	Document Location:	Page E01
Balance:	\$ 2,743,632	Account #:	210-3599-3141101-6051 \$303,618.67 215-3299-3153201-6051 \$1,447.13 (EC-T0411-001-16051) (EC-D5532-001-16051)
This Item:	305,066	Fund/Agency/Project – Description:	Electric CIP Fund / Transmission Lines
Proposed Balance:	\$ 2,438,566	Comments:	
Trent Schulze	05/22/15		
Budget Analyst	Date		
Ron Young	05/22/15		
Budget Director	Date		



GARLAND

PURCHASING

Executive Summary **Bid 5350-15** **Kraft Transmission Loop Materials**

Recommended Vendor:

Techline, Inc.

Total Recommended Award:

\$305,065.80

Basis for Award:

Lowest Responsible Bid

Purpose:

The purpose of this bid is to provide steel transmission poles and related materials needed for the Marquis to Kraft and Kraft to Fairdale 138kV transmission line reconstruction. This is part of the approved Kraft Transmission Loop CIP project.

Evaluation:

Requests for bids were issued in accordance with Purchasing procedures. Four (4) bids were received and evaluated. Trans-American Power Products, Inc. and Meyers Utility Structures only bid on the transmission poles. Techline, Inc. submitted the lowest total bid for all items.

Recommendation:

Staff recommends awarding the materials contract to Techline, Inc. as the lowest responsible bidder.

Funding Information:

This will be funded from GP&L CIP projects 210-3599-3141101-6051 Kraft Transmission Loop and 215-3299-3153201-6051 Overhead Line Construction.

Department Director:

Ross Owen, Transmission & Distribution Director, 972-205-3532



Purchasing Report

TMPA PROTECTION PANEL UPGRADES OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide protection and control specialists to TMPA/GP&L at the Greenville Interchange to perform protection and control commissioning of substation equipment. This is an approved Capital Improvement project, and expenditures will not exceed appropriated funds.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
G2 Electrical Testing and Consulting, LLC		\$136,375.00

TOTAL: \$136,375.00

BASIS FOR AWARD:

Interlocal Agreement

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.

Director of Procurement

Bryan L. Bradford

City Manager

Date: 04/22/15

Date: 05/26/15

<u>FINANCIAL SUMMARY:</u>			
Total Project/Account:	\$ 1,986,978	Operating Budget:	<input type="checkbox"/> CIP: <input checked="" type="checkbox"/> Year: <u>2015</u>
Expended/Encumbered to Date:	33,057	Document Location:	<u>Page E01</u>
Balance:	\$ 1,953,921	Account #:	215-3542-3175401-7111 (EC-S5753-005-1-7111)
This Item:	136,375	Fund/Agency/Project – Description:	Electric CIP Fund – Transmission Lines
Proposed Balance:	\$ 1,817,546	Comments:	
Trent Schulze	04/23/15		
Budget Analyst	Date		
Ron Young	04/23/15		
Budget Director	Date		



GARLAND

PURCHASING

Executive Summary **Bid 5362-15** **TMPA Protection Panel Upgrades**

Recommended Vendor:

G2 Electrical Testing and Consulting, LLC.

Total Recommended Award:

\$136,375.00

Basis for Award:

Interlocal Agreement

Purpose:

The purpose of this contract is to provide protection and control specialists to TMPA/GP&L at the Greenville Interchange to perform protection and control commissioning of substation equipment.

Evaluation:

This contract will be entered into through an interlocal agreement with the City of Denton.

Recommendation:

Staff recommends awarding the contract to G2 Electrical Testing and Consulting, LLC.

Funding Information:

This will be funded from the TMPA Relay and SCADA Upgrade Project CIP 215-3542-3175401-7111 (EC-S5753-005-1-7111).

Department Director:

Ross Owen, Transmission & Distribution Director, 972-205-3532



Purchasing Report

EMERGENCY MANAGEMENT COMMUNICATIONS OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide real-time data communications services from the field to the Emergency Management System. This communication provides visibility into critical electrical substations for physical security monitoring in order to meet ERCOT and NERC requirements. Level 3 Communications is the incumbent provider.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Level 3 Communications		\$150,000.00
	TOTAL:	<u>\$150,000.00</u>

BASIS FOR AWARD:

Sole Source

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.

Director of Procurement

Bryan L. Bradford

City Manager

Date: 05/08/15

Date: 05/26/15

<u>FINANCIAL SUMMARY:</u>	
Total Project/Account: \$	<u>1,512,943</u>
Expended/Encumbered to Date:	<u>658,858</u>
Balance: \$	<u>854,085</u>
This Item:	<u>150,000</u>
Proposed Balance: \$	<u>704,085</u>
Trent Schulze	05/11/15
Budget Analyst	Date
Ron Young	05/11/15
Budget Director	Date

Operating Budget: CIP: Year: FY 2014-15

Document Location: Page 212

Account #: 211-3625-7121

Fund/Agency/Project – Description:
GP&L Operating Budget

Comments:



GARLAND

PURCHASING

Executive Summary **Bid 5443-15** **Emergency Management Communications**

Recommended Vendor:

Level 3 Communications

Total Recommended Award:

\$150,000.00

Basis for Award:

Sole Source

Purpose:

The purpose of this contract is to provide real time data communications services from the field to the Emergency Management System. This communication provides visibility into critical electrical substations for physical security monitoring in order to meet ERCOT and NERC requirements.

Evaluation:

Level 3 Communications is the incumbent provider. Their services need to be maintained to avoid substantial risk of the security data integrity for real time operations with ERCOT.

Recommendation:

Staff recommends awarding the contract to Level 3 Communications as the sole source provider.

Funding Information:

This project will be funded from the GP&L System Operations Budget 211-3625-7121.

Department Director:

Ross Owen, Transmission & Distribution Director, 972-205-3532



Purchasing Report

HYDRAULIC EXCAVATOR OPEN MARKET

PURCHASE JUSTIFICATION:

This request is for the purchase of one (1) John Deere 250 G Hydraulic Excavator to be used by the Street Department in their daily operations. This Excavator is being provided through the BuyBoard Purchasing Cooperative Contract 424-13. Funding was approved in the 2014-15 Capital Improvement Program.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
RDO Equipment Company	1	\$243,435.00
TOTAL:		<u>\$243,435.00</u>

BASIS FOR AWARD:

Cooperative Purchase

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.
Director of Procurement

Bryan L. Bradford
City Manager

Date: 05/21/15

Date: 05/26/15

<u>FINANCIAL SUMMARY:</u>	
Total Project/Account: \$	500,000
Expended/Encumbered to Date:	-0-
Balance: \$	<u>500,000</u>
This Item:	243,435
Proposed Balance: \$	<u>256,565</u>
Matt Watson	05/21/15
Budget Analyst	Date
Ron Young	05/21/15
Budget Director	Date

Operating Budget: <input type="checkbox"/>	CIP: <input checked="" type="checkbox"/>	Year: <u>2015</u>
Document Location: <u>Page M15</u>		
Account #: <u>692-4699-3981900-9009</u>		
Fund/Agency/Project – Description: CO-Funded CIP / Stormwater Management / Stormwater Maintenance Equipment		
Comments: Replacement of hydraulic excavator required to maintain drainageways.		



GARLAND

PURCHASING

Executive Summary
Bid 5485-15
Hydraulic Excavator

Recommended Vendor:

RDO Equipment Company

Total Recommended Award:

\$243,435.00

Basis for Award:

Cooperative Purchase

Purpose:

The purpose of this contract is to purchase one (1) Hydraulic Excavator to be used by the Street Department in their daily operations.

Evaluation:

The Hydraulic Excavator will be provided by RDO Equipment Company through the BuyBoard Purchasing Cooperative Contract 424-13.

Recommendation:

Staff recommends awarding the contract for the Hydraulic Excavator to RDO Equipment Company.

Funding Information:

692-4699-3981900-9009

Department Director:

Terry Anglin, Fleet Director, 972-205-3524



Purchasing Report

LEWISVILLE HYDRO PLANT TURBINE REHABILITATION OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide all labor, equipment, and materials required for the rehabilitation of the Lewisville Hydro Plant turbine. This project is funded from the Hydro Plant operating budget. Expenditures will not exceed appropriated funds.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Kiser Hydro, LLC	1, 2, 3, & 5	\$330,500.00
TOTAL:		\$330,500.00

BASIS FOR AWARD:

Best Value

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.

Director of Procurement

Bryan L. Bradford

City Manager

Date: 05/22/15

Date: 05/26/15

<u>FINANCIAL SUMMARY:</u>	
Total Project/Account: \$	484,966
Expended/Encumbered to Date:	118,757
Balance: \$	366,209
This Item:	330,500
Proposed Balance: \$	35,709
Trent Schulze	05/25/15
Budget Analyst	Date
Trent Schulze for Ron Young	05/25/15
Budget Director	Date

Operating Budget: CIP: Year: FY 2014-15

Document Location: Page 212

Account #: 211-3462-7111

Fund/Agency/Project – Description:
Electric Operating Fund

Comments:

CITY OF GARLAND - BID RECAP SHEET
 OPENED: 02/05/15
 REQ. NO 33882
 BID NO 4987-15
 PAGE: 1 of 1
 BUYER: R,Berger

Kiser Hydro LLC

Hydro Consulting and
 Maintenance Service

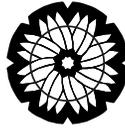
ITEM	QTY	UNIT	DESCRIPTION	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
1	1	lt	Bid Price for Evaluation		\$330,500.00		\$343,428.84				
			Evaluation Criteria:								
			Price	Maximum = 50	50		48				
			Qualifications	Maximum = 40	40		40				
			Pre-Bid Attendance	Maximum = 10	10		10				
			Total Score:	Maximum = 100	100		98				

TOTAL GROSS PRICE	\$330,500.00	\$343,428.84		
CASH DISCOUNT				
TOTAL NET PRICE	\$330,500.00	\$343,428.84		
F.O.B.	DELIVERED	DELIVERED	DELIVERED	DELIVERED
DELIVERY				

NEXT LOW: \$343,428.84
LOW: \$330,500.00
SAVINGS: \$12,928.84

1030 # BidSync Notifications
 80 # BidSync HUBS
 1 # Direct Contact HUBS
 0 # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.



GARLAND

PURCHASING

Executive Summary **Bid 4987-15** **Lewisville Hydro Plant Turbine Rehabilitation**

Recommended Vendor:

Kiser Hydro, LLC.

Total Recommended Award:

\$330,500.00

Basis for Award:

Best Value

Purpose:

The purpose of this contract is to provide all labor, equipment, and materials required for the rehabilitation of the Lewisville Hydro Plant turbine.

Evaluation:

Requests for bids were issued in accordance with Purchasing procedures. Two (2) bids were received and evaluated on the published criteria of price, qualifications and pre bid conference attendance. Kiser Hydro, LLC submitted the lowest bid and received the highest evaluated score, offering the best value to the City.

Recommendation:

Staff recommends awarding the contract to Kiser Hydro, LLC as the vendor offering the best value to the City.

Funding Information:

This project will be funded from the Hydro Plant operating account 211-1462-7111.

Department Director:

Dan Bailey, Director of Energy Services, 972-205-2203



Purchasing Report

PROFESSIONAL ENGINEERING FOR LOOKOUT SUBSTATION OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide Professional Engineering Services for Garland Power & Light's new 138 kV switching station. The future Lookout Substation will allow for a 138 kV interconnection to serve an ONCOR substation to be located adjacent to the GP&L site.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
R-Delta Engineers		\$407,850.00
	TOTAL:	<u>\$407,850.00</u>

BASIS FOR AWARD:

Most Qualified

Submitted by:

Reviewed by:

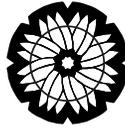
Gary L. Holcomb, CPPO, C.P.M.
Director of Procurement

Bryan L. Bradford
City Manager

Date: 05/21/15

Date: 05/26/15

<u>FINANCIAL SUMMARY:</u>			
Total Project/Account:	\$ 4,346,215	Operating Budget:	<input type="checkbox"/> CIP: <input checked="" type="checkbox"/> Year: <u>2015</u>
Expended/Encumbered to Date:	<u>235,048</u>	Document Location:	<u>Page E10</u>
Balance:	\$ <u>4,111,167</u>	Account #:	210-3799-3171501-7111 (EC-S0715-001-1-7111)
This Item:	<u>407,850</u>	Fund/Agency/Project – Description:	Electric CIP Fund / Substations Upgrades
Proposed Balance:	\$ <u>3,703,317</u>	Comments:	
Trent Schulze	05/22/15		
Budget Analyst	Date		
Ron Young	05/22/15		
Budget Director	Date		



GARLAND

PURCHASING

Executive Summary **Bid 5421-15** **Professional Engineering for Lookout Substation**

Recommended Vendor:

R-Delta Engineers

Total Recommended Award:

\$407,850.00

Basis for Award:

Professional Services

Purpose:

The purpose of this contract is to provide professional engineering services for Garland Power & Light's new 138kV switching station. The future Lookout Substation will allow for a 138kV interconnection to serve an ONCOR substation to be located adjacent to the GP&L site.

Evaluation:

R-Delta Engineers was short-listed as a professional services provider through a formal Request for Qualifications process. They were selected as the most qualified firm for this project.

Recommendation:

Staff recommends awarding the contract to R-Delta as the most qualified firm for this project.

Funding Information:

This project will be funded from the GP&L Lookout Substation Construction CIP 210-3799-3171501-7111 (EC-S0715-001-1-7111).

Department Director:

Ross Owen, Transmission & Distribution Director, 972-205-3532



City Council Item Summary Sheet

Work Session

Date: June 2, 2015

Agenda Item

Zoning Ordinance

Summary of Request/Problem

Zoning Ordinance 15-05 The Dimension Group

Recommendation/Action Requested and Justification

Consider adoption of attached ordinance.

Submitted By:

Will Guerin
Director of Planning

Approved By:

Bryan L. Bradford
City Manager

ORDINANCE NO.

AN ORDINANCE AMENDING THE ZONING LAWS OF THE CITY OF GARLAND, TEXAS, BY APPROVING A SPECIFIC USE PERMIT FOR RETAIL SALES WITH GAS PUMPS ON A 1.436-ACRE TRACT OF LAND ZONED PLANNED DEVELOPMENT (PD) DISTRICT 83-27 FOR LIMITED SHOPPING CENTER USES AND LOCATED ON THE SOUTHWEST CORNER OF CAMPBELL ROAD AND MURPHY ROAD; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; AND PROVIDING FOR A PENALTY AND AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 27th day of April, 2015, the City Plan Commission did consider and make recommendations on a certain request for zoning change made by **The Dimension Group**, and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

Now, therefore, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, that:

Section 1.

Ordinance No. 4647 is hereby amended by approving a Specific Use Permit for Retail Sales with Gas Pumps on a 1.436-acre tract of land zoned Planned Development (PD) District 83-27 for Limited Shopping Center Uses and located on the southwest corner of Campbell Road and Murphy Road, and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2.

Development shall be in conformance with the conditions, restrictions, and regulations set forth in Exhibit B, attached hereto and made a part hereof.

Section 3.

Ordinance No. 4647, as amended, shall remain in full force and effect, save and except as amended by this Ordinance.

Section 4.

Violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 5.

This Ordinance shall become and be effective on and after its adoption and publication as required by law.

PASSED AND APPROVED this _____ day of _____, 2015.

THE CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File 15-05

Being a tract of land in the Isaac Ramsey Survey, Abstract No. 1247 and being a tract of land conveyed to HCK Breckenridge Center, LLC, by Deed recorded in Instrument No. 201400094070, Deed Records, Dallas County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at an "X" found for corner at the Northeast corner of Lot 1, Block 1 of Campbell Crossing Office Park, an Addition to the City of Garland, Dallas County, Texas, according to the map or plat thereof recorded in Instrument No. 20070287500, Map Records, Dallas County, Texas, said corner also lying in the West right-of-way line of Murphy Road (variable width right-of-way) and being the Southeast corner of herein described tract;

THENCE North 89 degrees 53 minutes 47 seconds West, along the North line of said Lot 1, Block 1, departing said West right-of-way line of Murphy Road, a distance of 182.08 feet to a 2 inch iron pipe found for corner at the Southeast corner of a tract of land conveyed to Allen Scott Wagner and Kent S. Wagner, by Deed recorded in Volume 77139, Page 3256, Deed Records, Dallas County, Texas;

THENCE North 00 degrees 17 minutes 48 seconds East, along the East line of said Wagner tract, a distance of 345.65 feet to a point for corner at the Northeast corner of said Wagner tract and lying in the South right-of-way line of Campbell Road (variable width right-of-way);

THENCE North 89 degrees 47 minutes 00 seconds East, passing at a distance of 10.00 feet a 1/2 inch iron rod set for witness with yellow plastic cap stamped "TXHS" along

EXHIBIT A

said South line of Campbell Road, and continuing a total distance of 156.74 feet to an "X" set for corner;

THENCE South 44 degrees 48 minutes 20 seconds East, a distance of 34.29 feet to a 1/2 inch iron rod set for corner with yellow plastic cap stamped "TXHS" and lying in said West right-of-way line of Murphy Road;

THENCE South 00 degrees 06 minutes 36 seconds West, along said West right-of-way line of Murphy Road, a distance of 322.24 feet to the POINT OF BEGINNING and containing 62,535 square feet or 1.436 acres of land.

SPECIFIC USE PERMIT REQUIREMENTS

ZONING FILE 15-05

Southwest corner of Campbell Road and Murphy Road

- I. **Statement of Purpose:** The purpose of this Specific Use Permit is to allow the development of Retail Sales with Gas Pumps and a detached automated car wash structure.
- II. **Statement of Effect:** This Specific Use Permit shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of Planned Development (PD) District 83-27 for Shopping Center Uses, and all regulations of the Shopping Center (SC) District set forth in Sections 24, 33 and 46 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Specific Regulations:**
 - A. Time Period: The Specific Use Permit shall be in effect for a period of 20 years.
 - B. Site Plan: Development of the subject property must be in conformance with the approved site plan set forth in Exhibit C.
 - C. Building Placement: Retail building shall not be less than 10 feet from the western property line.
 - D. Screening and Landscaping: The width of the landscape buffer along Murphy Road shall be not less than 25 feet; notwithstanding the reduced landscape buffer width, the required landscape buffer tree plantings shall be met. All other applicable screening and landscape regulations shall be met as generally reflected on the approved landscape plan identified as Exhibit D.
 - E. Building Elevations: Each façade of the retail building and automated car wash structure shall consist of at least 80 percent face brick and/or stone and all the canopy columns shall be constructed with the same masonry materials as are used on the building facades. Building facades and canopy columns shall be in conformance with the approved elevations identified as Exhibit E.
 - F. Detached Automated Car Wash Structure: The detached automated car wash will be considered an ancillary use to the main operation (Retail Sales with Gas Pumps). In the event the subject property ceases to operate as Retail Sales with Gas Pumps or becomes in violation with the Specific Use Permit, the automated car wash shall not be permitted to

operate as a primary use nor as an ancillary use to any use other than Retail Sales with Gas Pumps. A car wash can operate as a primary use only as an attended car wash operation and with approval of a Specific Use Permit.

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER. NO PART OF THIS PLAN OR SPECIFICATIONS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.



VICINITY MAP
N.T.S.

WATER METER SCHEDULE

ID	TYPE	SIZE	REMARK
1	DOMESTIC	2"	PROPOSED
2	IRRIGATION	1"	PROPOSED

BENCHMARK DATA

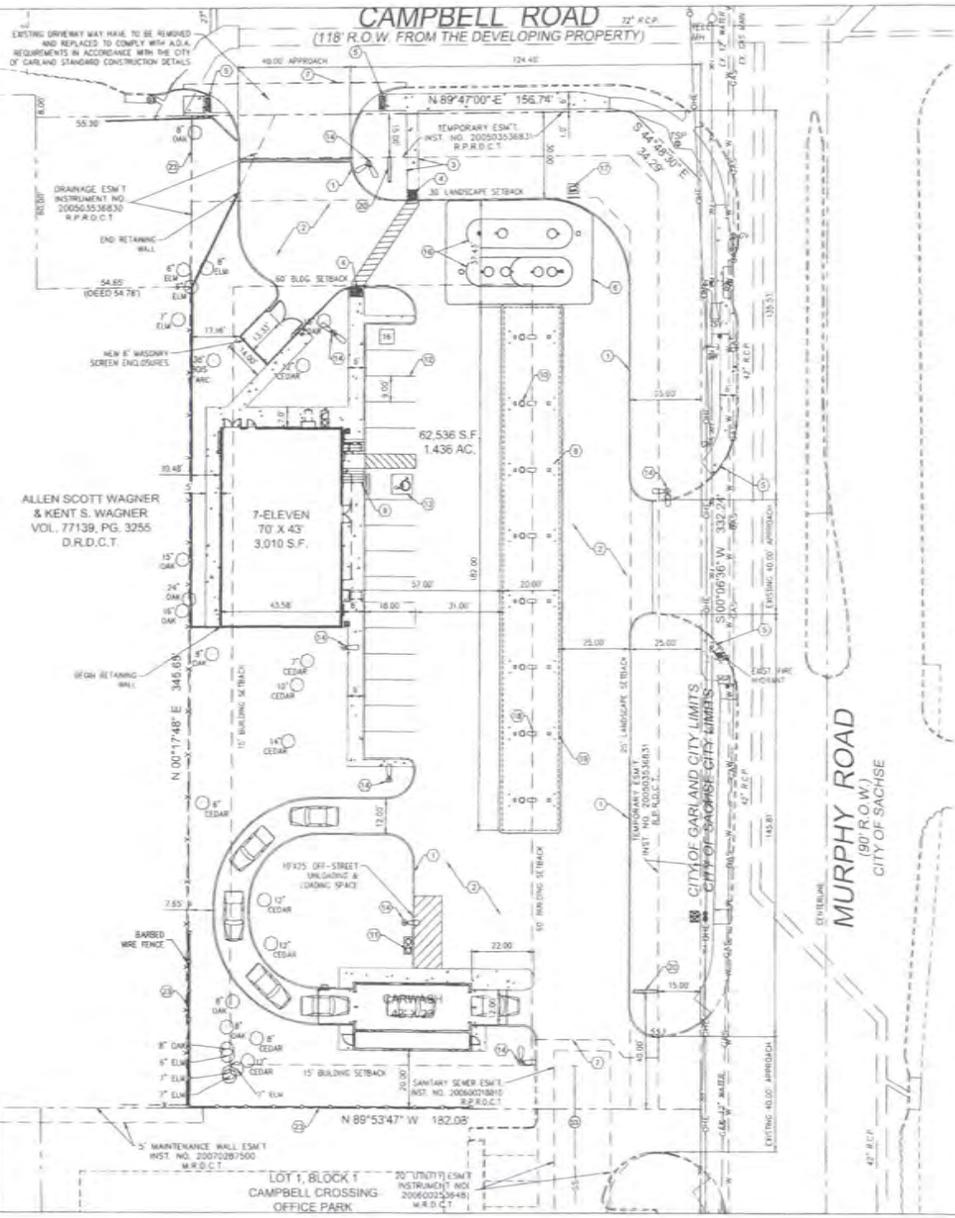
GPS STATION PROJECT NO. GPS-014
 NORTHING: 7462815.419
 EASTING: 2542596.732
 ELEVATION: 491.21

2" BRASS DISK STAMPED 74, LOCATED SET IN CONCRETE PAVING @ THE INTERSECTION OF FLAMING AND BRAND RD. APPROX. 22 EAST OF THE CENTERLINE OF BRAND RD. AND APPROX. 18 SOUTH OF FLAMING DR. CENTERLINE.

GPS STATION PROJECT NO. GPS-015
 NORTHING: 7462833.448
 EASTING: 2544524.991
 ELEVATION: 522.52

2" BRASS DISK STAMPED 75, LOCATED IN THE CONCRETE PAVING @ THE INTERSECTION OF LOCHNESS LN. AND BRAND RD. APPROX. 25 EAST OF THE CENTERLINE OF BRAND RD. AND APPROX. 25 NORTH OF LOCHNESS LN. CENTERLINE.

CAUTION NOTICE TO CONTRACTORS
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL 811 AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



- SITE PLAN KEYNOTES**
- CONSTRUCT 4" CURB & GUTTER
 - CONSTRUCT 4" CONCRETE PAVEMENT SECTION (RIB DEPTH)
 - CONSTRUCT 4" CONCRETE CONCRETE SIDEWALK
 - CONSTRUCT BARRIER-FREE RAMPS PER A.D.A. STANDARDS
 - CONSTRUCT OR REPLACE BARRIER-FREE RAMPS (PER CITY STANDARDS)
 - EDGE OF CONCRETE TANK PAD
 - EDGE OF SAW-CUT
 - INSTALL 6" DIA. BOLLARD
 - INSTALL HANDICAP VAN AND CAR SIGN (PER A.D.A. PLANS)
 - INSTALL TRASH CAN
 - INSTALL ABWATER STATION
 - 8" YELLOW OR WHITE PAVEMENT SOLID PARKING STRIPES
 - HANDICAP PARKING LOGO
 - STANDARD AREA LIGHT POLE (PER PHOTOMETRIC PLAN)
 - FIRE LANE STRIPING
 - UNDERGROUND STORAGE TANKS
 - UNDERGROUND STORAGE TANK VENTS
 - MULTI-PRODUCT FUEL DISPENSERS (MPTD)
 - EDGE OF CANOPY ROOF
 - NO X-Z MOVEMENT SIGN (SIGNS WILL REQUIRE SEPARATE SIGN PERMIT)
 - FIRE DEPARTMENT CONNECTION
 - INSTALL STANDARD GFI & 3" 6" ELECTRICAL TRANSFORMER
 - INSTALL RETAINING WALL
 - INSTALL 6" X 6" BRICK SCREENING WALL

SITE AND DESIGN DATA

SITE SQ. FT.	62,536 S.F. OR 1.436 ACRES
EXISTING ZONING	GB GENERAL BUSINESS
BUILDING SQ. FT.	3,010 S.F.
CAR WASH SQ. FT.	986 S.F.
CANOPY SQ. FT.	3,940 S.F.
PARKING REQUIRED (RETAIL)	15 SPACES (3,010/200)
PARKING PROVIDED	19 SPACES INCLUDING 1 HANDICAP SPACE
BUILDING COVERAGE	7.6% S.F. OR 12.18% 47% ALLOWED
BUILDING HEIGHT	24 FT
MAX. BUILDING HEIGHT	30 FT - PER ORDINANCE
BUILDING SETBACKS	80 FEET ON CAMPBELL ROAD 55 FEET ON MURPHY ROAD 15 FEET ON PROPERTY SIDES
LANDSCAPE SETBACKS	30 FEET ON MURPHY ROAD 30 FEET ON CAMPBELL ROAD NONE ON PROPERTY SIDES
REQUIRED VARIANCES	1. Variance for Canopy columns to exceed over the 60' Building Setback line along Murphy Road. 2. Variance for a 5 Foot rear setback instead of 20 Foot rear setback.

NOTE
 NO LANDSCAPING SUCH AS TREES, HEDGES, ABOVE AND UNDERGROUND STRUCTURES SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHT OF WAY.

DEVELOPER
 7-ELEVEN, INC.
 1320 RICHARDSON DRIVE
 RICHARDSON, TEXAS 75081
 TEL: (972) 476-9957
 CONTACT: DOUG SANDERS

APPLICANT/ENGINEER
 THE DIMENSION GROUP
 1915 FIRM # P-4356
 10705 SAKOUMI ROAD
 DALLAS, TEXAS 75238
 CONTACT: MICHAEL LIANG, P.E.
 TEL: (214) 343-9400

7-ELEVEN ADDITION
LOT 1, BLOCK 1
IN THE CITY OF GARLAND,
DALLAS COUNTY, TEXAS
CASE NO. 141028-2
SCALE: 1"=20'

NO.	DATE	REVISION DESCRIPTION
1	11/22/15	1st CITY SUBMITTAL
2	11/23/15	2nd CITY SUBMITTAL

TOPIC FIRM # F-4356
THE DIMENSION GROUP
 ARCHITECTURE + CIVIL ENGINEERING + MECHANICAL ENGINEERING + PLUMBING
 10705 SAKOUMI ROAD, DALLAS, TEXAS 75238
 TEL: 214-343-9400 FAX: 214-343-9900 www.thedimensiongroup.com

PROJECT NO. 15-189
DATE 03/10/15
4743 03-14-019-011-RELAND C3.0

SITE PLAN

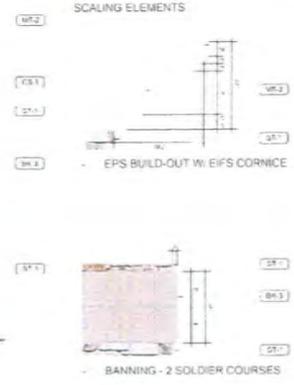
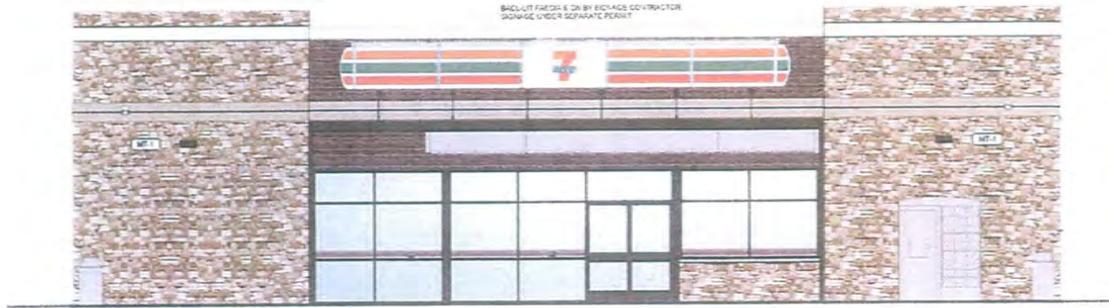
7-ELEVEN
CAMPBELL ROAD & MURPHY ROAD
GARLAND, TEXAS 75044

SHEET

C3.0

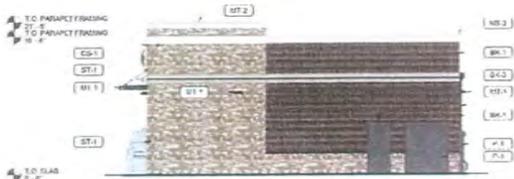
TO CURAPET FRAMING
1'-0"

TO PARAPET FRAMING
2'-0"



1 EAST ELEVATION
10'-0" x 10'-0"

FENESTRATION REQUIREMENT			SIGNAGE CALCULATION		
ELEMENT	NO.	AREA (SF)	DESCRIPTION	NO.	AREA (SF)
WIND	1	100	ALUMINUM EXPANDED GLASS	1	10
GLASS	1	100	ALUMINUM EXPANDED GLASS	1	10
GLASS	1	100	ALUMINUM EXPANDED GLASS	1	10
GLASS	1	100	ALUMINUM EXPANDED GLASS	1	10
GLASS	1	100	ALUMINUM EXPANDED GLASS	1	10
GLASS	1	100	ALUMINUM EXPANDED GLASS	1	10



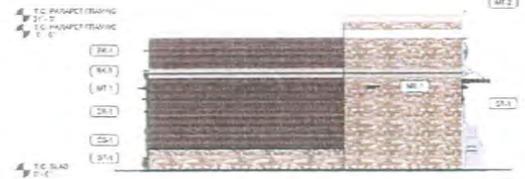
2 NORTH ELEVATION
10'-0" x 10'-0"

FENESTRATION REQUIREMENT		
ELEMENT	NO.	AREA (SF)
WIND	1	100
GLASS	1	100



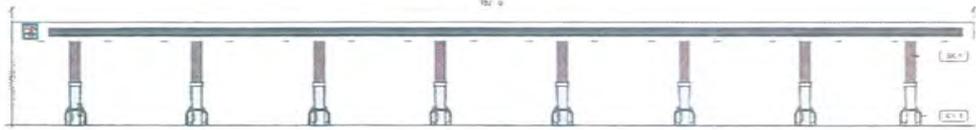
3 WEST ELEVATION
10'-0" x 10'-0"

FENESTRATION REQUIREMENT		
ELEMENT	NO.	AREA (SF)
WIND	1	100
GLASS	1	100



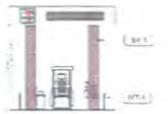
4 SOUTH ELEVATION
10'-0" x 10'-0"

FENESTRATION REQUIREMENT		
ELEMENT	NO.	AREA (SF)
WIND	1	100
GLASS	1	100



5 GAS CANOPY - EAST ELEVATION
10'-0" x 10'-0"

SIGNAGE CALCULATION		
DESCRIPTION	NO.	AREA (SF)
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10



6 GAS CANOPY - NORTH/SOUTH ELEVATION
10'-0" x 10'-0"

SIGNAGE CALCULATION		
DESCRIPTION	NO.	AREA (SF)
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10
ALUMINUM EXPANDED GLASS	1	10

- BK-1 ACME - QUORUM
- BK-2 ACME - QUORUM (SOLDIER COURSE)
- BK-3 ACME - CANYON GRAY (SOLDIER COURSE)
- ST-1 ALLIANCE - CHOPPED OKLAHOMA STONE
- P-1 SHERWIN WILLIAMS - SEAL SKIN SW 7675
- CS-1 ALLIANCE - CAST STONE
- MT-1 PREFINISHED DARK BRONZE METAL
- MT-2 METAL CAP TO MATCH CS-1

Rev.	Date	Description
1	08/16/15	ISSUE FOR PERMIT

7-ELEVEN, INC.
ONE ARTS PLAZA - 722 SOUTH STREET - DALLAS, TEXAS 75201
7-11 #1021543
5100 NURSERY RD & CAMPBELL RD
GARLAND, TX
PRESENTATION STREET



ARCHITECTS
CIVIL ENGINEERS
MEP ENGINEERS
PLANNERS

19700 SHILOH RD, SUITE 100
DALLAS, TEXAS 75228
0124 5624662 F 214 350 1210
www.7ep.com

JOB# 14-699
Scale AS NOTED
Date 08/16/15
Drawn By JT
Checked By PS



SHEET
PR1
7043 SP - BRICK

DATE: 08/16/15 11:45 AM - PERMITS DESIGN LAMPREY - 1001 LFE - 30 31 310 - 0000

EXHIBIT E



City Council Item Summary Sheet

Work Session

Date: June 2, 2015

Agenda Item

Zoning Ordinance

Summary of Request/Problem

Zoning Ordinance 15-08 Panda Restaurant

Recommendation/Action Requested and Justification

Consider adoption of attached ordinance.

Submitted By:

Will Guerin
Director of Planning

Approved By:

Bryan L. Bradford
City Manager

ORDINANCE NO.

AN ORDINANCE AMENDING THE ZONING LAWS OF THE CITY OF GARLAND, TEXAS, BY APPROVING AN AMENDED CONCEPT PLAN, DETAIL PLAN, AND A SPECIFIC USE PERMIT FOR RESTAURANT WITH DRIVE THROUGH ON PROPERTY ZONED PLANNED DEVELOPMENT (PD) DISTRICT 13-40 FOR GENERAL BUSINESS USES, ON A 0.869-ACRE TRACT OF LAND LOCATED SOUTHEAST OF THE INTERSECTION OF WEST CENTERVILLE ROAD AND IH 635; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; AND PROVIDING FOR A PENALTY AND AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 13th day of April, 2015, the City Plan Commission did consider and make recommendations on a certain request for zoning change made by **Panda Restaurant**; and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

Now, therefore, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, that:

Section 1.

Ordinance No. 4647 is hereby amended by approving an amended Concept Plan, a Detail Plan, and a Specific Use Permit for Restaurant with Drive Through on property zoned Planned Development (PD) District 13-40 for General Business Uses, on a 0.369-acre tract of land located southeast of the intersection of West Centerville Road and IH 635, and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2.

Development shall be in conformance with the conditions, restrictions, and regulations set forth in Exhibit B, attached hereto and made a part hereof.

Section 3.

Ordinance No. 4647, as amended, shall remain in full force and effect, save and except as amended by this Ordinance.

Section 4.

Violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

FILE NO. 15-08

Section 5.

This Ordinance shall become and be effective on and after its adoption and publication as required by law.

PASSED AND APPROVED this _____ day of _____, 2015.

THE CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A
LEGAL DESCRIPTION
Zoning File 15-08

BEING 37,848 square feet or (0.869 acre) of land in the Theophalus Thomas Survey, Abstract No. 1461, City of Garland, Dallas County, Texas; said 37,848 square feet or (0.869 acre) of land being a portion of that certain tract of land described Lot 2R, Block 1, New World Shopping Center No. 1 Replat (hereinafter referred to as Lot 2R), an addition to the City of Garland, Dallas County, Texas according to the plat thereof recorded under Clerk's File No. 201400113240, Map Records, Dallas County, Texas (M.R.D.C.T.); said 37,848 square feet or (0.869 acre) being more particularly described, by metes and bounds, as follows:

COMMENCING at the Westerly corner of said Lot 2R, same being the Southeasterly line of the remainder of that certain tract of land described as Lot 1, Block 1, New World Shopping Center No. 1 (hereinafter referred to as Lot 1), an addition to the City of Garland, Dallas County, Texas, according to the plat recorded in Volume 69084, Page 2108, M.R.D.C.T., same also being the existing Northeasterly right-of-way line of Interstate Highway No. 635 (variable width right-of-way), as recorded under Clerk's File No. 201400113240, M.R.D.C.T.;

THENCE South 45 degrees 12 minutes 21 seconds East, departing the Southeasterly line of the remainder of said Lot 1, and with the common line between said Lot 2R and the existing Northeasterly right-of-way line of said Interstate Highway No. 635, a distance of 39.80 feet to a PK nail set for the PLACE OF BEGINNING;

THENCE North 44 degrees 50 minutes 16 seconds East, departing the existing Northeasterly right-of-way line of said Interstate Highway No. 635 and crossing said Lot 2R, a distance of 237.36 feet to a PK nail set in the Northeasterly line of said Lot 2R, same being the Southwesterly line of that certain tract of land described as Lot 1R, Block 1, said New World Shopping Center No. 1 Replat (hereinafter referred to as Lot 1R);

THENCE South 46 degrees 04 minutes 21 seconds East with the common line between said Lot 2R and said Lot 1R, a distance of 155.60 feet to a five-eighths inch iron rod with plastic cap stamped "RPLS 4838" set;

THENCE crossing said Lot 2R for the following 3 courses:

1. South 44 degrees 47 minutes 39 seconds West, departing the Southwesterly line of said Lot 1R, a distance of 177.00 feet to a PK nail set;
2. South 45 degrees 12 minutes 21 seconds East, a distance of 10.84 feet to a PK nail set;
3. South 43 degrees 47 minutes 13 seconds West, a distance of 62.73 feet to a PK nail set in the Southwesterly line of said Lot 2R, same being the existing Northeasterly right-of-way line of said Interstate Highway No. 635;

EXHIBIT A

THENCE North 45 degrees 12 minutes 21 seconds West with the common line between said Lot 2R and the existing Northeasterly right-of-way line of said Interstate Highway No. 635, a distance of 167.70 feet to the PLACE OF BEGINNING, and containing a calculated area of 37,848 square feet or (0.869 acre) of land.

EXHIBIT A

ZONING FILE 15-08

Southeast of the intersection of West Centerville Road and IH 635

Planned Development Conditions

- I. **Statement of Purpose:** The purpose of this Planned Development District is to permit the development of General Business Uses subject to conditions.
- II. **Statement of Effect:** This Planned Development shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the General Business District set forth in Section 25, 32 and 47 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Development Plans:**
 - A. Concept Plan: Development shall be in general conformance with the Concept Plan as identified as Exhibit C. Should there be any conflict between the Concept Plan and the written conditions below, the conditions shall prevail.
 - B. Detail Plan: Development shall be in general accordance with the Detail Plan identified as Exhibit D.
- V. **Specific Regulations:**
 - A. Permitted Uses: Uses shall be as permitted within the General Business (GB) District within the IH 635 Overlay.
 - B. Screening and Landscaping: The screening and landscaping shall be generally provided as shown on the landscape plan identified as Exhibit E.
 - C. Building Elevations: Building elevations shall be in conformance with Exhibit F.
 - D. Freestanding Signage: One (1) freestanding pole sign, twenty-two feet in height and approximately 120 square feet in sign area shall be permitted as reflected in Exhibit G.
 - E. Attached Signage: Attached signage shall not exceed approximately 182.5 square feet as reflected in Exhibit G.

EXHIBIT B

SPECIFIC USE PERMIT CONDITIONS

ZONING FILE 15-08

On the south corner of Lavon Drive and Foster Road

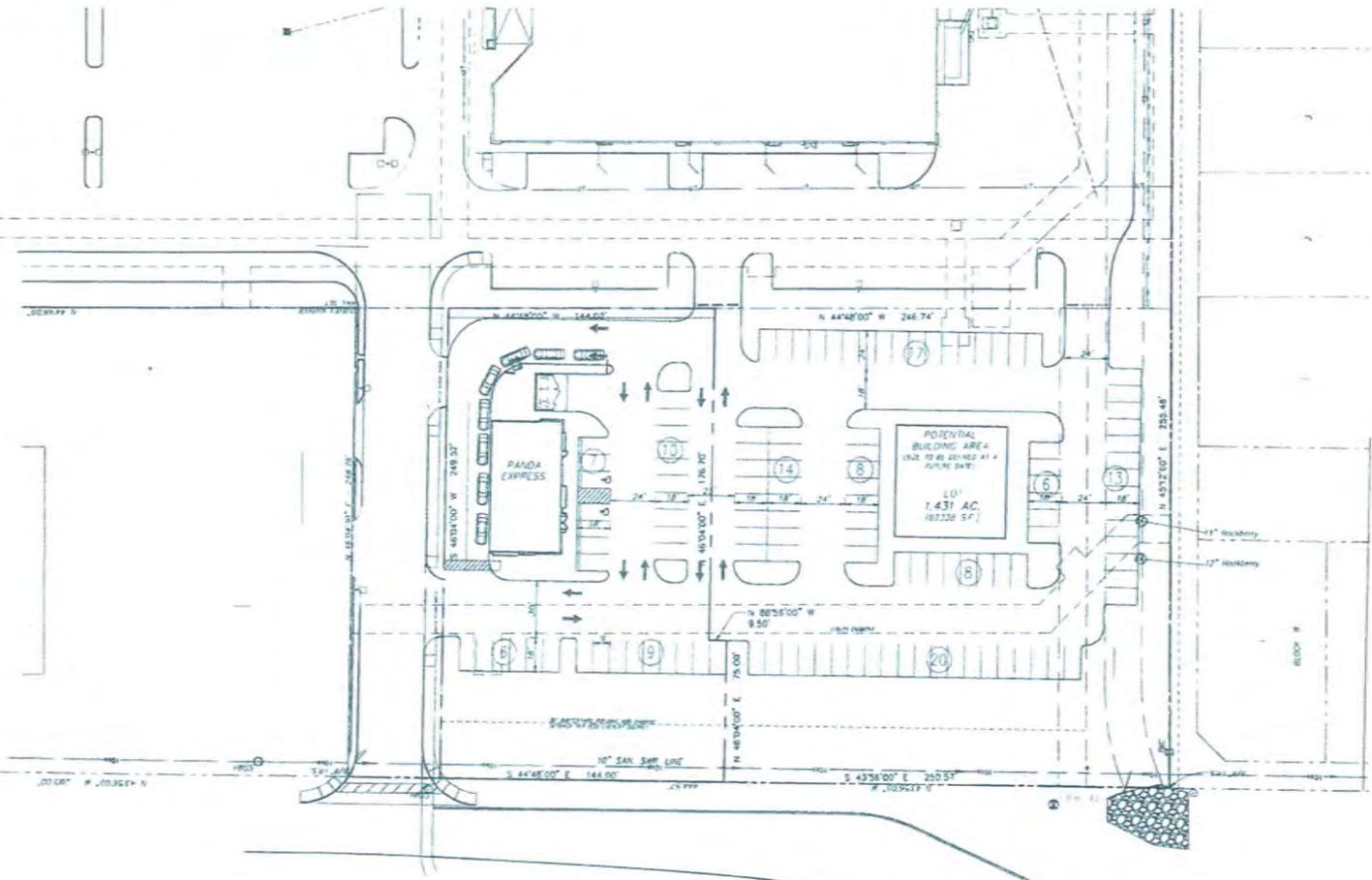
- I. **Statement of Purpose:** The purpose of this Specific Use Permit is to permit the construction of a restaurant with drive through subject to conditions.
- II. **Statement of Effect:** This Planned Development District shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the Shopping Center District set forth in Section 24, 32, 33, and 46 of the Comprehensive Zoning Ordinance, Ordinance No. 4647 are included by reference and shall apply, except as otherwise specified in this ordinance.
- VI. **Specific Regulations:**
 - A. Specific Use Permit: The Specific Use Permit shall be effective for a period of 25 years.

4/15/2018 11:58:07 AM

EXHIBIT C



NOTE:
PANDA EXPRESS
CONCEPT PLAN AND
INFORMATION PROVIDED
BY BANNISTER
ENGINEERING



I.H. 635
(VARIABLE WIDTH RIGHT-OF-WAY)

<p>SCALE: 1" = 20'</p> <p>DATE: JANUARY 22, 2018</p> <p>FILE: SITE PLAN</p> <p>PROJECT NO: 17201-01(02)</p>	<p>CONCEPT PLAN FOR IUM INVESTORS TRACT ADJACENT TO PANDA EXPRESS GARLAND, TEXAS</p>		<p>RECONVALUIS THOMAS STREET, APT. 1101 CITY OF GARLAND GARLAND, TEXAS</p> <p>WALTON METALS AND/OR NOTE: OWNER STATUS</p>	<p>DATE: 01/22/18</p> <p>BY: J. P. ANTONIO</p> <p>APPROVED:</p>	<p>Winkelmann & Associates, Inc.</p> <p>1000 WEST WILSON STREET, SUITE 100 GARLAND, TEXAS 75042</p> <p>PHONE: 972.261.1111 FAX: 972.261.1112 WWW.WINKELMANN-AND-ASSOCIATES.COM</p>
	<p>DATE: 01/22/18</p> <p>BY: J. P. ANTONIO</p> <p>APPROVED:</p>	<p>DATE: 01/22/18</p> <p>BY: J. P. ANTONIO</p> <p>APPROVED:</p>	<p>DATE: 01/22/18</p> <p>BY: J. P. ANTONIO</p> <p>APPROVED:</p>	<p>DATE: 01/22/18</p> <p>BY: J. P. ANTONIO</p> <p>APPROVED:</p>	

© 17201-01(02) (REV) 1/22/18, Winkelman & Associates, Inc. 1/22/18, Winkelman & Associates, Inc.



EXHIBIT F



EXHIBIT F



ENTRANCE

SCOPE OF WORK:
Manufacture and install Channel Letter sign with Tagless Channel Letter installation as shown.

SIGN CODE:
1.5 x 21.4" x 825.63 Aggregate PROPOSED 2016

PROPOSED
Channel Letter Area..... 41.70 Sq Ft
Total sq. elevation..... 41.70 Sq Ft

70' - 5" EAST Elevation

NOTE: All wall signs to be the same distance from the top of the building to the top of the sign on all elevations.

EXHIBIT G



ENTRANCE ELEVATION
Scale: 3/16" = 1'-0"

1334 W. Centerville Rd - Garland, TX

Elevation with Signage



CORPORATE HEADQUARTERS
1000 Westwood Blvd, Suite 100, Dallas, TX 75219
Phone: (214) 343-1100 Fax: (214) 343-1101
www.atlassignindustries.com

WORLDWIDE DIVISION
14000 Westheimer, Suite 100, Houston, TX 77040
Phone: (281) 416-1100 Fax: (281) 416-1101
www.atlassignindustries.com



Revision 1	3/26/15	JK
Revision 2	11/25/15	JK
Revision 3		
Revision 4		
Revision 5		

Approved by: _____
Date: _____

APPROVED BY OWNER
 APPROVED BY ARCHITECT
 CORRECT & RESUBMIT

Drawing No. 40887-2 Sheet (2) of (12)
Drawn by J. Adams Date: 11/23/14
Scale: As Shown Rep: _____
Project Mgr. Jon Janselle
Path: Food & Bev | Panda Express | TX | Garland



Panda Express
1334 W. Centerville Rd.
Garland, TX

FRONT

SCOPE OF WORK:
Manufacture and install SE Wall Sign as shown

SIGN CODE:
1334 W. Centerville Rd - 1334-03 Approvals: PROPOSED: 03/25

PROPOSED
SE Wall Sign 19,675 Sq Ft
Total Sign Elevations 19,625 Sq Ft

38' - 0" SOUTH Elevation

NOTE: All wall signs to be the same distance from the top of the building to the top of the sign on all elevations

Equal 50' (S-40') Equal

EXHIBIT G



FRONT ELEVATION
Scale: 1/8" = 1'-0"

1334 W. Centerville Rd - Garland, TX

Elevation with Signage



CORPORATE HEADQUARTERS
17708 E. 15th Street, Suite 100, Dallas, TX 75244
Phone: 972.443.8888 Fax: 972.443.8889
www.atlasindustries.com

NORTHEAST DIVISION
101 Commerce Center, Suite 100
P.O. Box 1111, Dallas, TX 75201
Phone: 972.443.8888 Fax: 972.443.8889
www.atlasindustries.com



Revision 1 2/25/15 By: JS
Checked: _____
Designed: _____
Fabricated: _____
Installed: _____
Drawn: _____

Approved by: _____
Date: _____
 APPROVED AS SHOWN
 APPROVED AS SHOWN
 CORRECT & RESUBMIT

Drawing No: 48897-3 Sheet: 03 of 03
Project: 1334 W. Centerville Rd. Date: 01/02/15
Type: As Shown Rev: _____
Project Manager: Jon Smith
Vendor: Food & Gas | Panda Express | TX | Garland



Panda Express
1334 W. Centerville Rd.
Garland, TX

DRIVE THRU

SCOPE OF WORK
 Manufacture and install S/E Wall Sign. Install on elevation at shown.

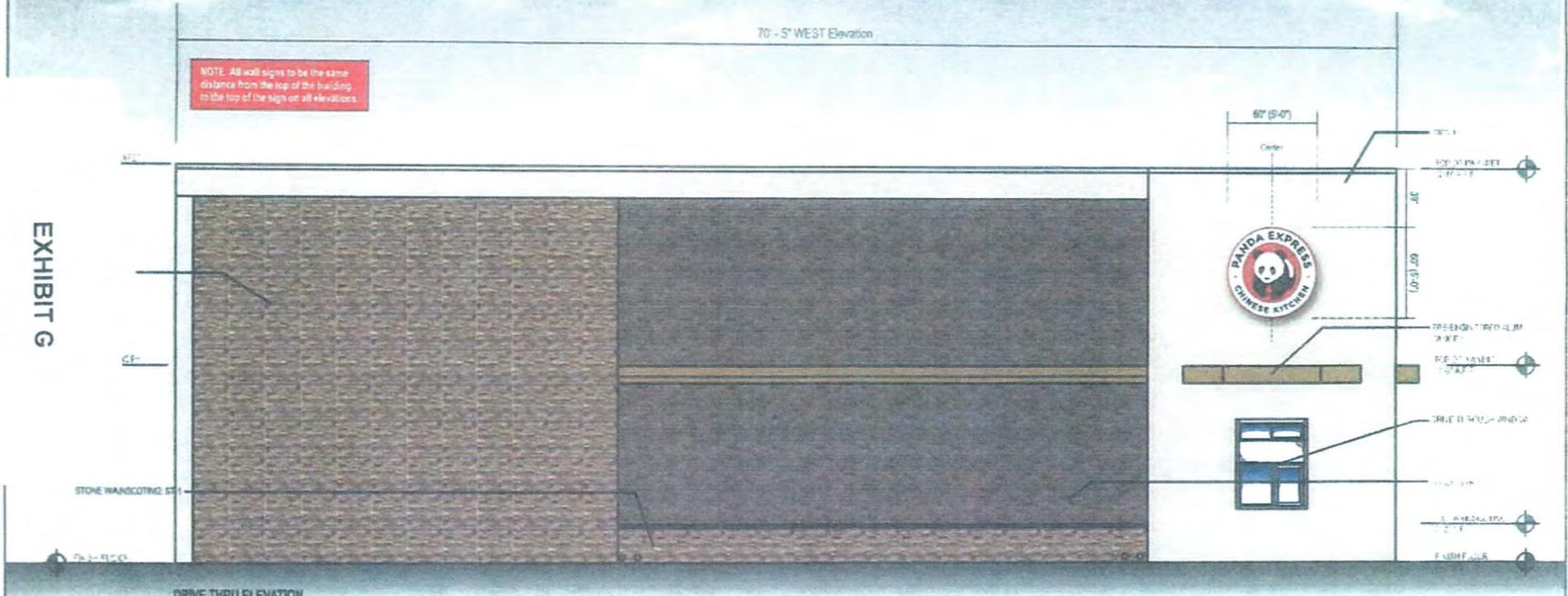
SIGN CODE:
 1.5 x 20.4' 10% S1 Aggregate PROPOSED 90.96

PROPOSED
 S/E Wall Sign 13,625 Sq Ft
 Total for elevation 19,625 Sq Ft

NOTE: All wall signs to be the same distance from the top of the building to the top of the sign on all elevations.

70' - 5" WEST Elevation

EXHIBIT G



DRIVE THRU ELEVATION
 Scale: 3/16" = 1'-0"

1334 W. Centerville Rd. - Garland, TX

Elevation with Signage



CORPORATE HEADQUARTERS
 1400 West Loop South, Suite 2000, Houston, TX 77060
 Phone: 281.350.8928 / 281.350.2100 Fax: 281.350.2104

NORTHEAST DIVISION
 1400 West Loop South, Suite 2000, Houston, TX 77060
 Phone: 281.350.8928 / 281.350.2100 Fax: 281.350.2104

www.atlas-sign.com



Designed: 7/26/15 By: JS
 Drawn: 8/3/15 By: JA
 Checked: []
 Project #: []
 Revision: []

Approved by: _____
 Date: _____

APPROVED AS SHOWN
 APPROVED AS NOTED
 CORRECTED AS SHOWN

Drawing No: 45037-1 Sheet: 46 of 113
 Drawn by: J. Alvarez Date: 10/02/14
 Scale: As Shown Rev: _____
 Project Mgr.: Jess Gonzalez
 Path: Food & Bev | Panda Express | TX | Garland



Panda Express
 1334 W. Centerville Rd.
 Garland, TX

REAR

SCOPE OF WORK:
Manufacture and install SIF Wall Sign install on elevation at (shown)

SIGN CODE:
1.7 x 20.47' 108,413 Aggregate - PRESTON 11 99/96

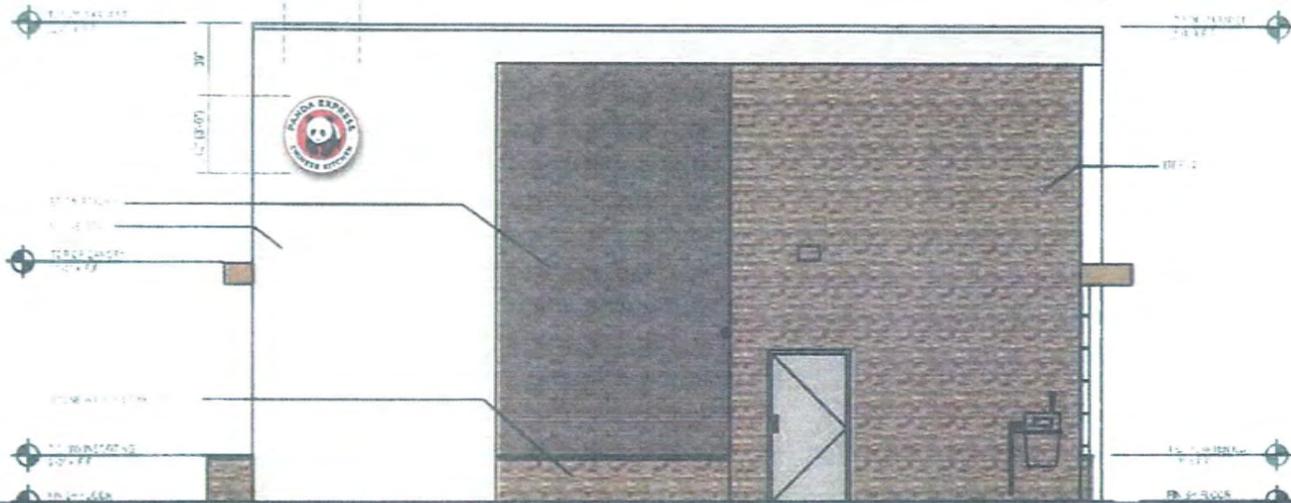
PROPOSED
SIF Wall Sign 9.61 Sq Ft
Total for elevation 9.61 Sq Ft

NOTE: All wall signs to be the same distance from the top of the building to the top of the sign on all elevations.

36' - 0" NORTH Elevation

12' (3-4')

30'
12' (3-4')



REAR ELEVATION
Scale: 1/8" = 1'-0"

EXHIBIT G

1334 W. Centerville Rd - Garland, TX

Elevation with Signage



CORPORATE HEADQUARTERS
1071 West Park Drive, Suite 100, Dallas, TX 75241
Phone: (972) 242-1111 Fax: (972) 242-1112

NORTHEAST DIVISION
1071 West Park Drive, Suite 100, Dallas, TX 75241
Phone: (972) 242-1111 Fax: (972) 242-1112

www.atlasign.com



Revised: 2/26/15 By JS
Revised: 3/26/15 By JA
Revised: 4/26/15
Revised: 5/26/15

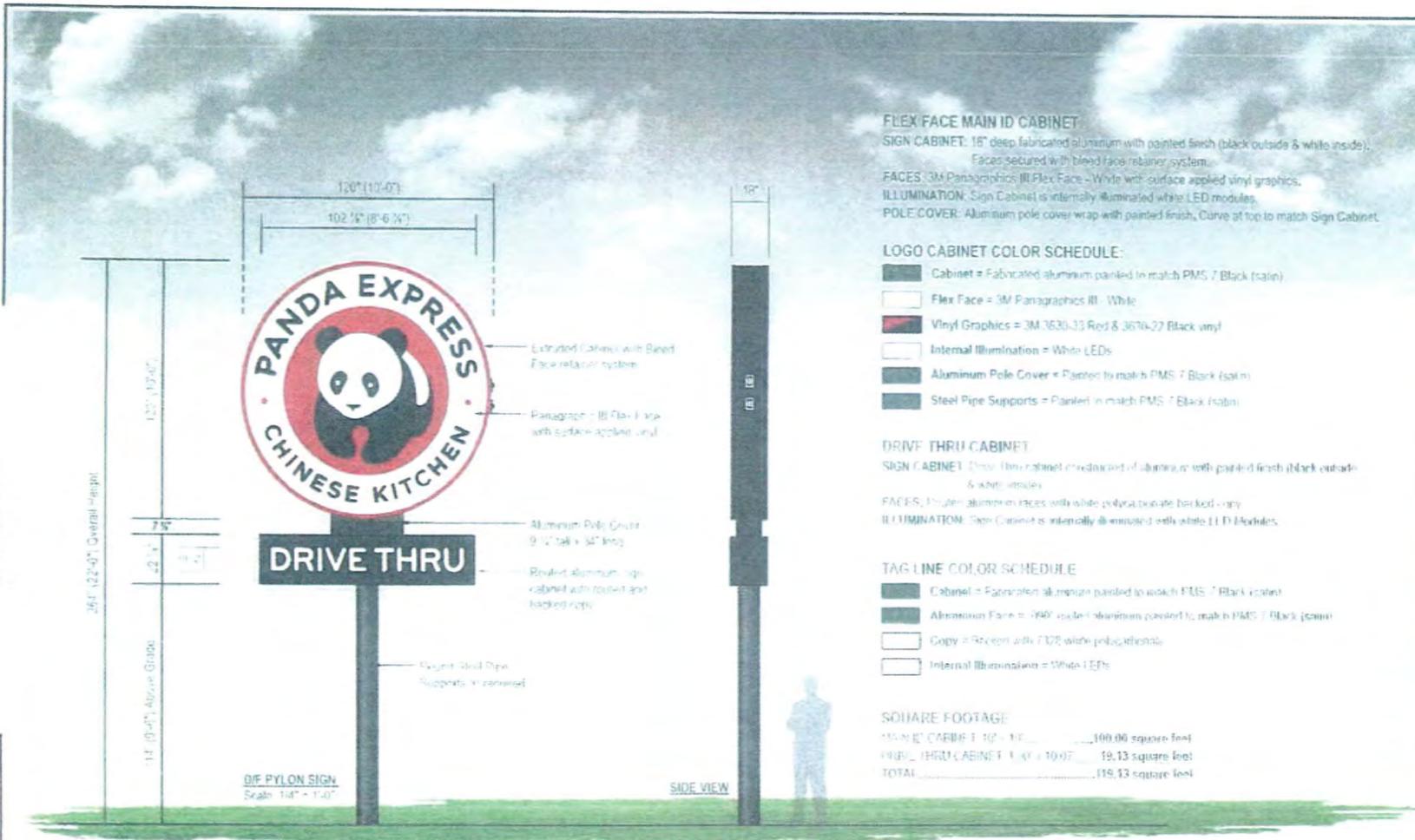
Approved by: _____
By: _____

APPROVED BY SIGNER
 APPROVED BY ARCHITECT
 APPROVED BY CONTRACTOR

Drawing No: 4997-5 Sheet: 01 of 03
Drawn by: J. Adams Date: 11/03/14
Scale: As Shown Rep: _____
Project: Joe Zivada
Path: Food & Bev | Panda Express | TX | Garland



Panda Express
1334 W. Centerville Rd.
Garland, TX



FLEX FACE MAIN ID CABINET
SIGN CABINET: 16" deep fabricated aluminum with painted finish (black outside & white inside). Faces secured with bleed face retainer system.
FACES: 3M Panagraphics III Flex Face - White with surface applied vinyl graphics.
ILLUMINATION: Sign Cabinet is internally illuminated with white LED modules.
POLE COVER: Aluminum pole cover wrap with painted finish, Curve of top to match Sign Cabinet.

LOGO CABINET COLOR SCHEDULE:

- Cabinet = Fabricated aluminum painted to match PMS 7 Black (stain)
- Flex Face = 3M Panagraphics III - White
- Vinyl Graphics = 3M 3630-33 Red & 3670-27 Black vinyl
- Internal Illumination = White LEDs
- Aluminum Pole Cover = Painted to match PMS 7 Black (stain)
- Steel Pipe Supports = Painted to match PMS 7 Black (stain)

DRIVE THRU CABINET
SIGN CABINET: Drive thru cabinet constructed of aluminum with painted finish (black outside & white inside).
FACES: 1/2" extruded aluminum faces with white polypropylene beaded vinyl.
ILLUMINATION: Sign Cabinet is internally illuminated with white LED Modules.

TAG LINE COLOR SCHEDULE

- Cabinet = Fabricated aluminum painted to match PMS 7 Black (stain)
- Aluminum Face = 1/2" extruded aluminum painted to match PMS 7 Black (stain)
- Copy = Screen with 1/32" white polypropylene
- Internal Illumination = White LEDs

SQUARE FOOTAGE
 MAIN ID CABINET 1' 10" x 11' 109.00 square feet
 DRIVE THRU CABINET 1' 4" x 10'0" 19.13 square feet
 TOTAL 128.13 square feet

NOTE: NEEDS VARIANCE APPROVAL.



CORPORATE HEADQUARTERS
 3000 W. Highway 100, Suite 100, Garland, TX 75042
 Phone: 972.261.7800 Fax: 972.261.7801
 www.atlassignindustries.com

NORTHEAST DIVISION
 3750 Greenway Blvd, Suite 200, Dallas, TX 75241
 Phone: 972.261.7800 Fax: 972.261.7801
 www.atlassignindustries.com

Drawn By:	49897-13
Checked By:	(13) OF (13)
Date:	11/03/2014
File:	Food & Bev / Panda / TR / Gates
TM:	Joe Janelle
Drawn By:	J. Adams
Scale:	As Shown
Revision 1:	11/12/15 By: JA
Revision 2:	
Revision 3:	
Revision 4:	
Revision 5:	



Approved by: _____
 Date: _____
 APPROVED AS SHOWN
 APPROVED AS NOTED
 CHANGES REQUIRED



1334 W. Centerville Rd - Garland, TX

Pylon Sign



City Council Item Summary Sheet

Work Session

Date: June 2, 2015

Agenda Item

Zoning Ordinance

Summary of Request/Problem

Zoning Ordinance 15-14 Schwob Building Company

Recommendation/Action Requested and Justification

Consider adoption of attached ordinance.

Submitted By:

Will Guerin
Director of Planning

Approved By:

Bryan L. Bradford
City Manager

ORDINANCE NO.

AN ORDINANCE AMENDING THE ZONING LAWS OF THE CITY OF GARLAND, TEXAS, BY APPROVING A SPECIFIC USE PERMIT FOR HIGH RISK USE ON PROPERTY ZONED INDUSTRIAL-1 (I-1) DISTRICT ON A 30.57 ACRE TRACT OF LAND LOCATED EAST OF THE INTERSECTION OF JUPITER ROAD AND WEST MILLER ROAD PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; AND PROVIDING FOR A PENALTY AND AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 27th day of April, 2015, the City Plan Commission did consider and make recommendations on a certain request for approval of Specific Use Permit made by **Schwob Building Company**; and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

Now, therefore, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, that:

Section 1.

Ordinance No. 4647 is hereby amended by approving a Specific Use Permit for a High Risk Use on property zoned Industrial-1 (I-1) District on a 30.57 acre tract of land, located east of the intersection of Jupiter Road and West Miller Road and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2.

Development shall be in conformance with the conditions, restrictions, and regulations set forth in Exhibit B, attached hereto and made a part hereof.

Section 3.

Ordinance No. 4647, as amended, shall remain in full force and effect, save and except as amended by this Ordinance.

Section 4.

Violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 5.

This Ordinance shall become and be effective on and after its adoption and publication as required by law.

FILE NO. 15-14

PASSED AND APPROVED this _____ day of _____, 2015.

THE CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

ZONING FILE 15-14

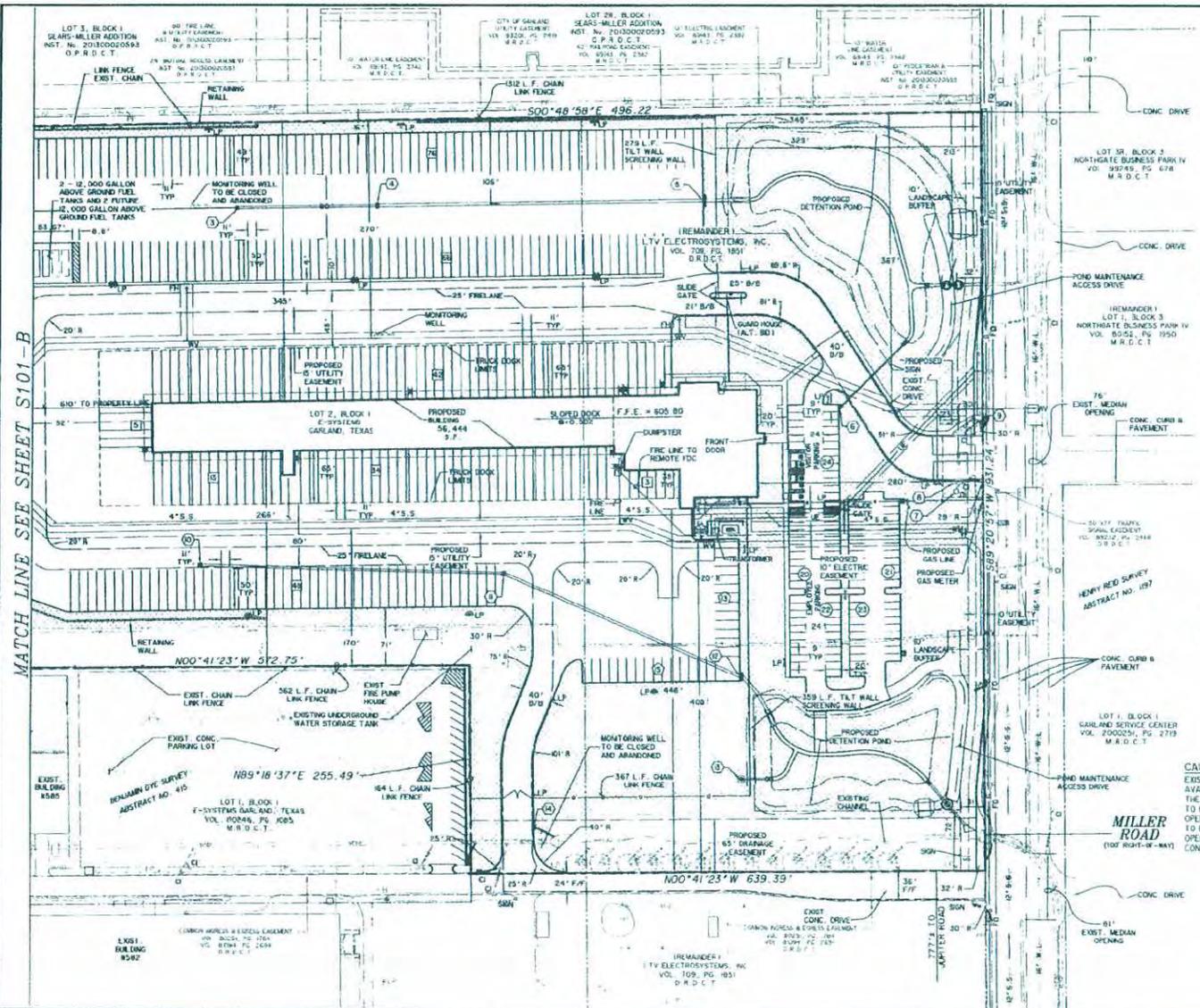
SPECIFIC USE PERMIT CONDITIONS

East of the Northeast Intersection of Jupiter and West Miller Road

- I. **Statement of Purpose:** The purpose of this Specific Use Permit is to allow a High Risk Use subject to conditions.
- II. **Statement of Effect:** This permit shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the Industrial 1 (I-1) District set forth in Section 29 and Section 33 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Specific Regulations:**
 - A. Time Period: The Specific Use Permit shall be in effect for a 25 year time period.
 - B. Impact Protection: The four fuel storage tanks shall be STI's "Fireguard" above ground storage tanks. UL 2085 Listed as "protected" with ballistics and impact protection. The fuel storage tanks shall also be surrounded by fifty (50), eight (8) inch bollards designed in accordance with the City of Garland's Vehicle Impact Protection guidelines.
 - C. Combustion Protection: The four fuel storage tanks shall comply with all major safety codes related to aboveground storage tanks, including but not limited to National Fire Protection Association (NFPA) 30, Flammable and Combustible Liquids Code, and National Fire Protection Association (NFPA) 1, Uniform Fire Code and International Fire Code.
 - D. Spill Control: The site must provide a Spill Prevention, Control and Countermeasure Plan prepared specifically for the site to the U.S. Environment Protection Agency in accordance with their regulations.
 - E. Site Plan: Development shall be in conformance with the approved site plan (Exhibit C).

- F. Inspections: The facility must comply with all required Building Inspection, Health and Fire Department requirements and inspections.

WANTED: 4/1/2025, 5:19 P.M. WEDNESDAY. LAST SAVED: 3/21/2025, 8:05 P.M. SAVED BY: PHILIP, FILE: SITE-PLAN-1401.DWG



LEGEND

- (S) STANDARD PARKING SPACE
- (T) TRAILER PARKING SPACE
- (H) TRACTOR PARKING SPACE
- (I) INLET IDENTIFICATION NUMBER
- (C) HANDICAP PARKING
- (E) EXPANSION JOINT
- (P) PARKING LOT LIGHT POLE
- (L) SEE MEP SITE LIGHTING PLAN
- [] FIRE LANE
- [] LANDSCAPE AREA

- NOTES:**
- NO LANDSCAPING SUCH AS TREES, HEDGES, ABOVE AND UNDERGROUND STRUCTURES SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHT-OF-WAY.
 - DETENTION PONDS MUST BE OPERATIONAL PRIOR TO PAVING.
 - FIRE LANE PAVING SHALL BE A MINIMUM 6" CLASS 1" CONCRETE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DAMAGED SIGNAL LOOP DETECTORS AT THE SIGNALIZED INTERSECTION RESULTING FROM THIS DEVELOPMENT.
 - SEE SHEET C-5103 FOR DETAILED PLAN SHEET LEGENDS

INLET NO.	INLET SIZE	CONCRETE (D)	SHALLS
1	8" X 20"	0.7'	3#
2	8" X 20"	0.7'	3#
3	GRATE	7.5'	3# 1/2
4	GRATE	16.0'	2 1/2 #
5	3"	1.4'	1#
6	5"	0.7'	0#
7	6"	0.7'	0#
8	10"	1.1'	0#
9	10"	1.1'	0#
10	GRATE	10.8'	1 1/2 #
11	GRATE	28.6'	0#
12	8"	2.1'	0#
13	5"	0.3'	0#

MEANS AREAS
 PRE-PROJECT - 384,488 SQUARE FEET
 POST-PROJECT - 646,111 SQUARE FEET

CAUTION !!!
 EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.



WIA WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 77 BOUNDARY SUE 300 MEMPHIS DR. SUITE 100 MEMPHIS, TN 38117
 Phone: (901) 521-1111 Fax: (901) 521-1112

SOUTHEASTERN FREIGHT LINES

EXHIBIT C

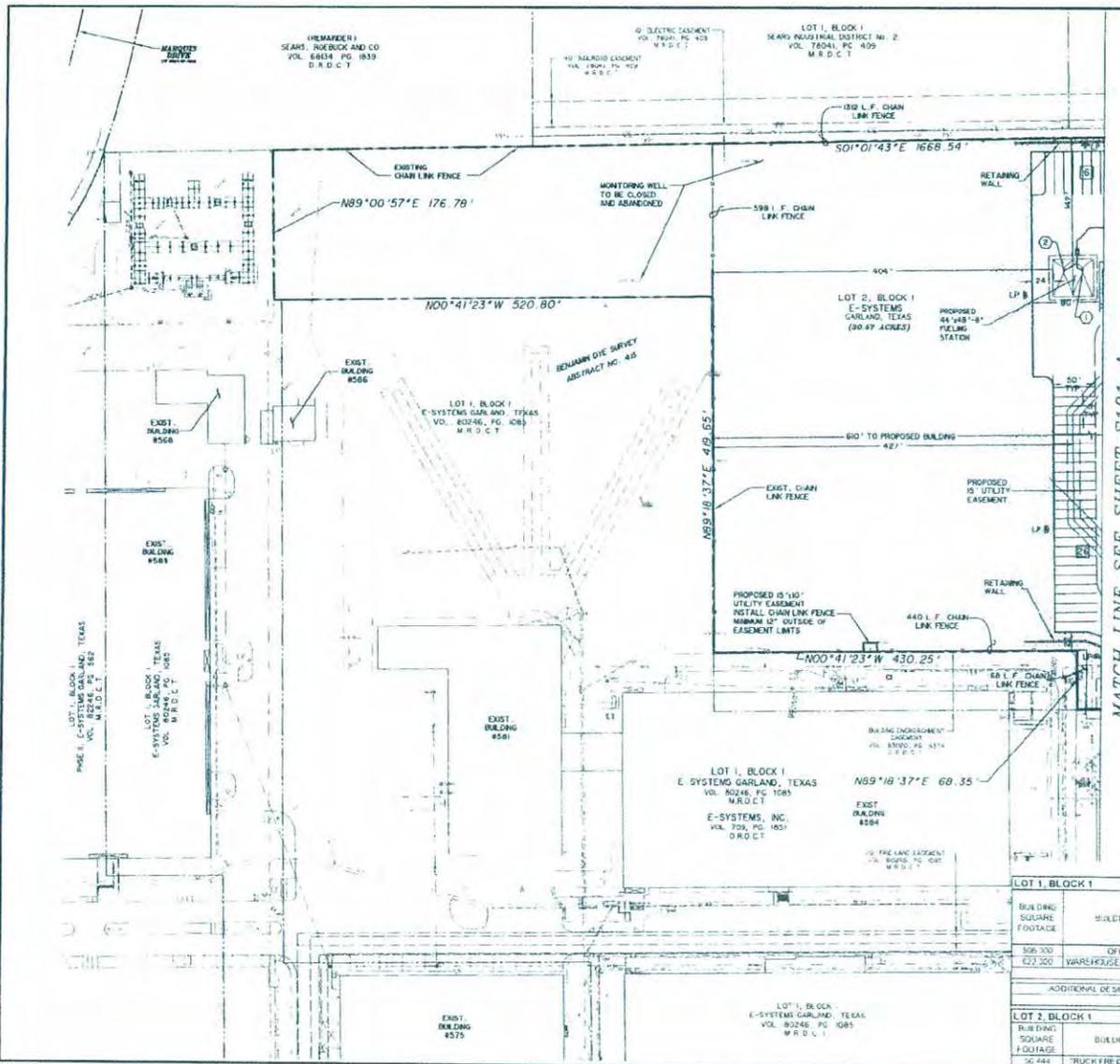
LOT 2, BLOCK 1
 E-SYSTEMS GARLAND
 GARLAND, TEXAS
 CASE NO. 140225-1

A NEW TERMINAL FACILITY
 SOUTHEASTERN FREIGHT LINES
 GARLAND, TEXAS
 SITE PLAN
 SOUTH LANE



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 2025. ALL RIGHTS RESERVED.
 SHEET NO. C-0901A

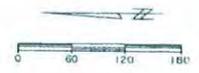
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LEGEND

- 39 STANDARD PARKING SPACE
- 1 TRAILER PARKING SPACE
- 2 TRACTOR PARKING SPACE
- 3 INLET IDENTIFICATION NUMBER
- 4 HANDICAP PARKING
- 5 EXPANSION JOINT
- 6 PARKING LOT LIGHT POLE SEE MEP SITE LIGHTING PLAN
- FIRE LANE
- LANDSCAPE AREA

- NOTES:**
1. NO LANDSCAPING SUCH AS TREES, HEDGES, ABOVE AND UNDERGROUND STRUCTURES SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHT-OF-WAY.
 2. DETENTION PONDS MUST BE OPERATIONAL PRIOR TO PAVING.
 3. FIRE LANE PAVING SHALL BE A MINIMUM 6" CLASS "C" CONCRETE.
 4. SEE SHEET C-503 FOR DETAILED PLAN SHEET LEGENDS.



CAUTION 1:
 EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES. TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTOR'S OPERATIONS, TO PROTECT ALL UTILITIES FROM DAMAGE TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTOR'S OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

SITE TABLE

LOT 1, BLOCK 1		PARKING		EXISTING PARKING PROVIDED PRE LOT 1 DEVELOPMENT	EXISTING PARKING PROVIDED POST LOT 2 DEVELOPMENT	EXISTING PARKING REMOVED BY LOT 2 DEVELOPMENT
BUILDING SQUARE FOOTAGE	506,300	OFFICE	1,000 SF	1,387		
	577,200	WAREHOUSE/STORAGE/SUPPORT	11,000 SF	122		
					3,316	2,324
						992
ADDITIONAL DESIGNATED MOTOR VEHICLE PARKING PROVIDED				17	17	
TOTAL VEHICLE PARKING PROVIDED				3,555	2,341	
LOT 2, BLOCK 1		PARKING REQUIREMENT	REQUIRED PARKING	PARKING PROVIDED		
BUILDING SQUARE FOOTAGE	16,444	TRUCK FREIGHT TERMINAL	11,000 SF	57	110	

PREPARED BY:
WIER & ASSOCIATES, INC.
 ENGINEERS SURVEYORS LAND PLANNERS
 701 ROCKWOOD BLVD. SUITE 300 WILMINGTON, TEXAS 75401-1070 (972) 866-1700
 www.wierandassociates.com

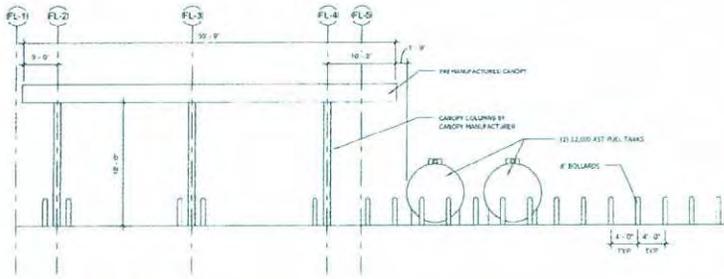
SOUTHEASTERN FREIGHT LINES

EXHIBIT C

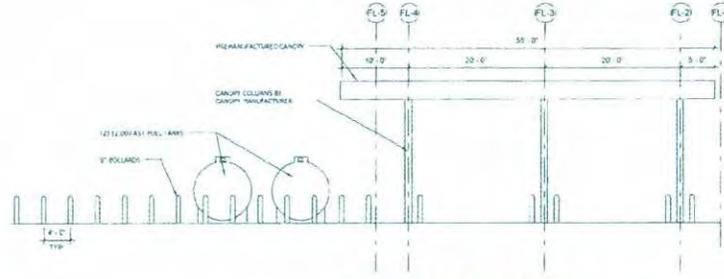
A NEW TERMINAL FACILITY
SOUTHEASTERN FREIGHT LINES
 GARLAND, TEXAS
SITE PLAN
 NORTH HALF
 LOT 2, BLOCK 1
E-SYSTEMS GARLAND
 CASE NO. 14-0323-1



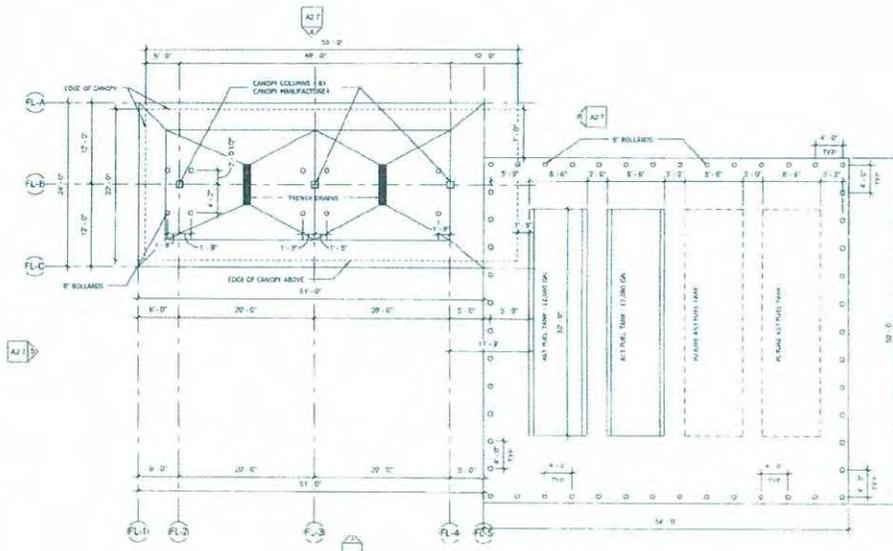
COPYRIGHT ©
 WIER & ASSOCIATES, INC.
 DATE: 3/27/2018
 DRAWN BY:
SHEET NO.
C-503B



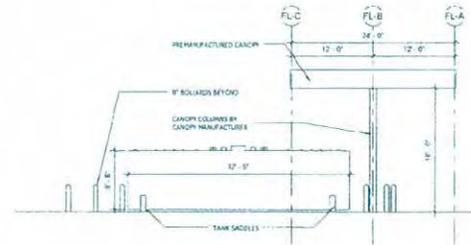
3 FUEL ISLAND - WEST ELEVATION
1/8" = 1'-0"



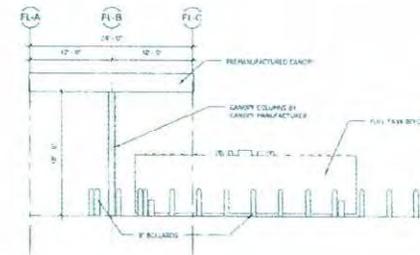
4 FUEL ISLAND - EAST ELEVATION
1/8" = 1'-0"



2 FUEL ISLAND PLAN
1/8" = 1'-0"



6 FUEL ISLAND - SOUTH ELEVATION
1/8" = 1'-0"



5 FUEL ISLAND - NORTH ELEVATION
1/8" = 1'-0"



Contractor:
Schwab Building Company, Ltd.
2349 Glenda Lane
Dallas, TX 75229



Project Description:
SOUTHEASTERN FREIGHT LINES
3301 W Miller Road
Garland, TX 75041
SUP REVISED 04-10-13

FOR SUP REVIEW & APPROVAL

Project No: 14057.00
The applicant hereby certifies to the undersigned that all information furnished herein is true and correct and that the same has been prepared by or under the supervision of a duly licensed professional engineer or architect. The undersigned hereby certifies that the same has been prepared by or under the supervision of a duly licensed professional engineer or architect. The undersigned hereby certifies that the same has been prepared by or under the supervision of a duly licensed professional engineer or architect.
Sheet Name:
FUEL ISLAND PLAN & ELEVATIONS
Sheet Number:

A2.7

EXHIBIT C

SOUTHEASTERN FREIGHT LINES, INC.
Lot 2, Block 1, E-Systems Garland

Specific Use Permit – Zoning Application

Description of Proposed Operation:

Requesting a Specific Use Permit to allow installation of (2) 12,000 gallon above ground fuel storage tanks with future provisions to install (2) *additional* 12,000 gallon above ground fuel storage tanks for a total potential capacity of 48,000 gallons as allowed by Code.

Fuel tanks will support a private-use fueling center for this Owner's freight line operations.

All work will properly permitted through the City of Garland.

Z 15-14

Approval of a Specific Use Permit for a
High Risk Use on property zoned Industrial-1 (I-1) District
East of the Northeast Intersection of Jupiter and West Miller Road



Looking east at from subject site at adjacent development Industrial-1 (I-1) District.



Looking west from subject site at adjacent Raytheon buildings Industrial-1 (I-1) District.



Facing north from Miller Road looking at approximate location of fuel storage location. Industrial-1 (I-1) District.



Facing south from approximate location of fuel storage area at Miller road (approximately 1,200 feet north of Miller Drive looking) Industrial-1 (I-1) District.

Where Should the SPCC Plan be Located?

REQUIRED: A copy of the SPCC plan must be maintained at any facility manned at least 4 hours per day. For remote locations, the SPCC plan should be filed at the nearest field office. A copy does not have to be filed with EPA or any other agency, unless it is a condition of a permit or license held by the facility. However, the SPCC plan must be available during normal business hours for review by an EPA inspector. EPA requires that facilities submit a copy of the SPCC plan to EPA Region 1 if a single spill of greater than 1,000 gallons occurs, OR if two discharges of 42 gallons or more occurs within one year.



City Council Item Summary Sheet

Work Session

Date: June 2, 2015

Agenda Item

Bond Sale – Certificates of Obligation

Summary of Request/Problem

At the April 21, 2015 Work Session, Council considered authorizing a Certificates of Obligation (CO) bond sale in the approximate amount of \$18 million to fund a portion of the approved 2015 CIP.

Recommendation/Action Requested and Justification

By Ordinance, approve the sale of Certificates of Obligation, Series 2015 to fund a portion of the approved 2015 CIP.

Submitted By:

David Schuler
Chief Financial Officer

Approved By:

Bryan L. Bradford
City Manager



City Council Item Summary Sheet

Work Session

Date: June 2, 2015

Agenda Item

Fee Schedule for Garland Development Code

Summary of Request/Problem

With the adoption of the GDC at the May 19, 2015 City Council meeting a fee schedule must be adopted for the new ordinance. This is necessary because there are some applications in the GDC which were not in the old Comprehensive Zoning Ordinance. The City Attorney's office has prepared the attached ordinance.

Recommendation/Action Requested and Justification

Adopt the attached ordinance

Submitted By:

Will Guerin
Director of Planning

Approved By:

Bryan L. Bradford
City Manager

ORDINANCE NO.

AN ORDINANCE ADOPTING A FEE SCHEDULE OF CHARGES TO BE ASSESSED AND COLLECTED UNDER THE GARLAND DEVELOPMENT CODE, AND PROVIDING AN EFFECTIVE DATE

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That the fee schedule attached hereto is hereby adopted for charges to be assessed and collected under the Garland Development Code.

Section 2

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this the ____ day of _____, 2015.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary

City of Garland

**Fee List
(2015)**

Planning Department Collects the following fees:

Zoning Change or Specific Use Provision Applications

Type of Application	Fee
Planned Development (PD) Zoning (New or revised Concept / Detail Plan)	\$1000 + \$50 per acre
Planned Development – amendment of conditions	\$500
Specific Use Provision – New Construction or Expansion	\$1,000 + \$50 per acre
Specific Use Provision – Name or use change	\$500.00
Specific Use Provision – Residential less than one (1) acre	\$100 – 0 to 1 acre
Zoning Change Request	\$800

Plat Applications

Type of Application	Fee
Preliminary, Final, or Replats	\$500 + \$50 acre or portion thereof
Residential Replats/Final Plat*	\$500 + \$50 acre or portion thereof
Amending Plats	\$250 + \$50 acre or portion thereof
Minor Plats	\$500 + \$50 acre or portion thereof
Plat Vacation	\$500 + \$50 per acre or portion thereof
Conveyance Plats	\$500 + \$50 per acre or portion thereof

*Final Plat involving residentially zoned platted property

Variance, Appeal, Waiver and Miscellaneous Applications

Type of Application	Fee
Alcohol Distance	\$300
Alley Waiver	\$300
Building Line Modification	\$150
Building Line Modification, if Board of Adjustment appeal is also required	None
Development Standards Variance (Screening and Landscaping, Signage)	\$350

Alternative Compliance	\$200
Fence Variance	\$250
House Conversion (requiring public hearings)	\$800
Preliminary Development Plan (new construction)	\$1,000
Preliminary Development Plan (special use standards)	\$100
Downtown Development Plan/Regulating Plan (new construction-includes Major Waiver)	\$1,000
Downtown Minor Waiver	\$250
Reasonable Accommodations	\$0
Vested Rights Petition	\$0
Sidewalk Waiver	\$200
Sign Variance	\$250
Tree Removal Permit (application fee only; tree mitigation fees required as applicable)	\$150
Tree Preservation Variance	\$300

Zoning Verification Letters

Type	Fee	Area of Notification
Zoning Verification Letter	\$50	N/A

Refund Policy

Position in Application Process	Refund
Request withdrawn prior to both the advertisement of legal notice or distribution of notification letters:	50%



City Council Item Summary Sheet

Work Session

Date: June 2, 2015

Agenda Item

Modifications to Water Conservation and Drought Stage Ordinances

Summary of Request/Problem

In an effort to achieve a coordinated regional water conservation message, our water provider (The North Texas Municipal Water District) has modified its water usage policies. All Member and Customer Cities have been asked to adopt similar policies.

The proposed Water Conservation Ordinance would be in effect at all times and would restrict outdoor watering with automatic sprinklers to no more than twice per week. The Water Resource Emergency Management Plan is in effect only during periods of drought and contains a 3-stage drought response plan rather than the current 4-stage plan.

Adopting the proposed modifications will allow our practices and our public message to align with those of the Water District and most other agencies in North Texas. Council action is required to adopt the modifications.

This item was considered at the May 18 Work Session

Recommendation/Action Requested and Justification

Adopt the revised Water Conservation Plan and Water Resource Emergency Management Plan.

Submitted By:

**John Baker, PE
Assistant City Manager**

Approved By:

**Bryan L. Bradford
City Manager**

ORDINANCE NO.

AN ORDINANCE AMENDING CHAPTER 51, “GENERAL UTILITY PROVISIONS”, OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A PENALTY CLAUSE, A SAVINGS CLAUSE, AND A SEVERABILITY CLAUSE AND PROVIDING AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

SECTION 1

That Article VI of Chapter 51, “General Utility Provisions”, of the Code of Ordinances of the City of Garland, Texas, is hereby amended to read as follows:

“ARTICLE VI. WATER RESOURCE EMERGENCY MANAGEMENT PLAN”*

Sec. 51.90 Declaration of policy, purpose, and intent

(A) In order to conserve the available water supply in times of drought and emergency; maintain supplies for domestic water use, sanitation, and fire protection; protect and preserve public health, welfare, and safety; minimize the adverse impacts of a water supply shortage; and minimize the adverse impacts of emergency water supply conditions, the following regulations and restrictions on the delivery and consumption of water are hereby adopted.

(B) Water uses regulated or prohibited under this drought contingency plan (the “plan”) are considered to be nonessential and the continuation of such uses during times of a water shortage or other water supply emergency are deemed to constitute a waste of water that will subject offenders to both civil and criminal fines and penalties.

Sec. 51.91 Definitions

In this article:

- (1) *Aesthetic water use* means water use for ornamental or decorative purposes such as fountains, reflecting pools, and water gardens.
- (2) *Aquatic life* means a vertebrate organism dependent upon an aquatic environment to sustain its life.
- (3) *Athletic Field* means a sports competition field used primarily for organized sports practice, competition or exhibition events for schools, professional sports or sanctioned league play.
- (4) *Automatic Shutoff Nozzle* - means a device which permits water to flow through it only when outside pressure is applied.

(5) Cool season grasses are varieties of turf grass that grow best in cool climates primarily in northern and central regions of the United States (i.e. perennial and annual rye grass, Kentucky blue grass and fescues).

(6) Commercial users means commercial, institutional and industrial customers using water that is integral to its operations.

(7) Conservation means those practices, techniques, and technologies that reduce the consumption of water, reduce the loss or waste of water, improve efficiency in the use of water or increase the recycling and reuse of water so that an adequate supply of water is conserved and made available for future or alternative uses.

(8) Customer means any person (as that term is defined in section 10.03 of this Code) using or receiving water supplied by the City.

(9) Director means the Managing Director of Water, Wastewater, and Water Recycling of the City, his or her designee, or such other individual to whom the City Manager has appointed the duties and authority under this article.

(10) Drip irrigation (also known as micro irrigation) means the application of small quantities of water as drops, small streams or miniature sprays through emitters of applicators placed along a water delivery line. The drip method encompasses a number of systems or concepts such as bubbler, dripper, trickle, line source mist or miniature spray.

(11) Landscaped areas mean areas of decorative plantings of vegetation generally consisting of shrubs, vines, groundcovers, trees, ornamental trees, and decorative grass species that are planted to improve aesthetic qualities or natural beauty of a site and/or to stabilize the soil conditions, thereby minimizing water runoff. These areas may also include vegetation planted in containers intended to supplement or highlight areas of the landscape or garden.

(12) Landscape irrigation use means water used for the irrigation and maintenance of landscaped areas, whether publicly or privately owned, including residential and commercial lawns, gardens, golf courses, parks, and rights-of-way and medians.

(13) Lawns mean an open area covered by closely mown and cultivated perennial turf grass.

(14) Soaker hose is a type of water hose made of porous material that allows water to seep out of the hose without spraying water into the air.

Sec. 51.92 Triggering criteria for initiation and termination of drought response stages

(A) The director shall monitor water supply or demand conditions on a daily basis and will determine when conditions warrant the initiation or termination of any stage of the plan. The director shall endeavor to provide public notification of the initiation or termination of a drought response stage by means of publication of notices in a newspaper of general circulation in the City, the “City Press,” and the City’s internal website, by posting notices on the City’s public access CATV channel, through customer mailings, and by posting signs in City buildings. The director shall endeavor to notify North Texas Municipal Water District (“NTMWD”) by telephone and a follow-up letter, e-mail, or fax when a drought stage is initiated. The director shall notify the executive director of the TCEQ within 5 business days when any mandatory provisions of the drought contingency plan are activated.

(B) When the director determines that a water shortage or water supply emergency requires activation of the plan, the provisions of the plan shall go into effect immediately upon the first publication of notice and shall remain in effect until terminated by the director.

(C) The director may order the termination of a drought response stage or water emergency when the conditions for termination are met or at his discretion. The director may decide not to order the termination of a drought response stage or water emergency even though the conditions for termination of the stage are met. Factors which could influence such a decision include, but are not limited to, the time of the year, weather conditions, or the anticipation of potential changed conditions that warrant the continuation of the drought stage. The director shall endeavor to take the following actions when a drought stage is terminated:

(1) Notify the public by means of publication of notices in a newspaper of general circulation in the City; publication in the "City press"; posting notices on the City's internet website and on the City's public access CATV channel; through customer mailings, and by posting signs in City buildings.

(2) Notify the NTMWD in a timely manner.

(3) Notify the executive director of the TCEQ within five (5) business days that activated mandatory provisions of the drought contingency plan are terminated.

(D) Depending on the circumstances prevailing at the time of the plan is put into effect; the director may determine that a water shortage or other water supply emergency exists under one of the following stages:

(1) Stage 1.

(a) Requirements for initiation. The director may initiate restrictions on certain nonessential water uses applicable to a stage 1 water shortage when:

(i) The City's wholesale water provider, NTMWD, notifies the director of delivery or source shortages, requests initiation of stage 1 of the plan, and the director concurs;

(ii) Total daily water demand exceeds 95 percent of the amount that can be delivered to customers for three consecutive days;

(iii) Water demand for all or part of the delivery system equals delivery capacity because delivery capacity is inadequate;

(iv) Supply source becomes contaminated;

(v) Water system is unable to deliver water due to the failure or damage of major water system components; or

(vi) The water system experiences continually falling treated water reservoir levels that do not refill above 65 percent overnight.

(b) Stage 1 may terminate when the circumstances that caused the initiation of Stage 1 no longer prevail and the director authorizes.

(2) Stage 2.

(a) Requirements for initiation. The director may initiate restrictions on certain nonessential water uses applicable to a stage 2 water shortage when:

(i) The City's wholesale water provider, NTMWD, notifies the director of delivery or source shortages, requests initiation of stage 2 of the plan, and the director concurs;

(ii) Total daily water demand exceeds 98 percent of the amount that can be delivered to customers for three consecutive days;

(iii) Water demand for all or part of the delivery system exceeds delivery capacity because delivery capacity is inadequate;

(iv) Supply source becomes contaminated;

(v) Water system is unable to deliver water due to the failure or damage of major water system components; or

(vi) Continually falling treated water reservoir levels that do not refill above 50 percent overnight are experienced.

(b) Stage 2 may terminate when the circumstances that caused the initiation of Stage 2 no longer prevail and the director authorizes.

(3) Stage 3.

(a) Requirements for initiation. The director may initiate restrictions on certain nonessential water uses applicable to a stage 3 water shortage when:

(i) The City's wholesale water provider, NTMWD, notifies the director of delivery or source shortages, requests initiation of stage 3 of the plan, and the director concurs;

(ii) Total daily water demand exceeds the amount that can be delivered to customers;

(iii) Water demand for all or part of the delivery system seriously exceeds delivery capacity because delivery capacity is inadequate;

(iv) Supply source becomes contaminated;

(v) Water supply system is unable to deliver water due to the failure or damage of major water system components; or

(vi) The water system experiences continually falling treated water reservoir levels that do not refill above 20 percent overnight.

(b) Stage 3 may terminate when the circumstances that caused the initiation of Stage 3 no longer prevail and the director authorizes.

Sec. 51.93 Drought stage responses

Based upon an analysis of water supply and demand conditions and in accordance with the triggering criteria set forth above, the director may implement the following responses as appropriate to the water shortage or water emergency being experienced.

(1) Stage 1. The goal for water use reduction under stage 1 is a five percent (5%) reduction in the use that would have occurred in the absence of drought contingency measures. During a stage 1 shortage:

(a) The City will, in the manner it deems necessary and appropriate, endeavor to:

(i) Accelerate public education efforts on ways to reduce water use.

(ii) Halt nonessential city government water use.

(iii) Encourage the public to wait until the current drought or emergency situation has passed before establishing new landscaping.

(iv) The City will, in the manner it deems necessary and appropriate, endeavor to implement viable alternative supply strategies.

(v) Allow irrigation as follows:

A. Between April 1 and October 31 of each year, irrigation of landscape areas, foundations, trees and lawns with hose-end sprinklers or automatic irrigation systems is prohibited except on Tuesdays and Saturdays; and from November 1 to March 31 the irrigation of landscape areas, foundations, trees and lawns with hose-end sprinklers or automatic irrigation systems is limited to once a week. An exception is allowed where establishment of vegetation is required by TCEQ for storm water permits on new construction.

B. Irrigation of landscape areas, foundations, and trees is allowed on any day provided it is accomplished using a handheld hose equipped with an automatic shutoff nozzle, a soaker hose, or a drip irrigation system.

C. The City and School District may water parks, sports fields, landscaped and lawn areas of medians and parkways, or other municipal facilities throughout the week in a manner that achieves the equivalent of two water days between April 1 and October 31 of each year and from November 1 to March 31 the equivalent of once a week as approved by the Director.

D. Except for hand watering with an automatic shutoff nozzle, or the use of soaker hoses or drip irrigation systems, irrigation of lawns or landscape areas is prohibited between the hours of 10:00 a.m. and 6:00 p.m.

(vi) Discourage over seeding of cool season turf grasses (such as rye grass or other similar grasses) that intensify cool season water requirements, except where establishment of vegetation is required by TCEQ for storm water permits on new construction.

(2) Stage 2. The goal for water use reduction under stage 2 is a reduction of ten percent (10%) in the use that would have occurred in the absence of drought contingency measures. During a stage 2 shortage:

(a) The City will endeavor to continue or initiate actions available under stage 1.

(b) The City will, in the manner it deems necessary and appropriate, endeavor to implement viable alternative water supply strategies.

(c) The operation of any ornamental fountain or pond for aesthetic or scenic purposes, if it uses potable water, is prohibited except when necessary to support aquatic life.

(d) The use of water to wash down sidewalks, walkways, driveways, parking lots, tennis courts, or other hard surfaces areas is prohibited except for human health and safety purposes. Use of water for dust control on construction projects is permitted to the extent allowed or required by law or regulation.

(e) Use of water to wash any vehicle, including without limitation a motor vehicle, motorcycle, boat, trailer, or airplane, is prohibited unless the source of water is equipped with an automatic shutoff nozzle that will stop the flow of water when that flow is not needed to rinse the vehicle being washed.

(f) Use of water in such a manner as to allow runoff or other waste is prohibited. Water runoff is excessive when it extends for a distance greater than ten (10) feet from the property's boundary lines; onto an adjacent property; or ten (10) feet past the targeted irrigation area for commercial sites. Excessive water runoff will be cause for termination of water service.

(g) Irrigation is allowed as follows:

(i) Between April 1 and October 31 of each year, irrigation of landscape areas, foundations, trees and lawns with hose-end sprinklers or automatic irrigations systems is limited to one day per week on the day designated for residential trash pickup in customer's area; and from November 1 to March 31 the irrigation of landscaped areas, foundations, trees and lawns with hose-end sprinklers or automatic irrigation systems is limited to one day every other week on the day designated for collection of recyclable materials in customer's area.

(ii) The City and School District may water parks, sports fields, landscaped and lawn areas of medians and parkways, or other municipal facilities throughout the week in a manner that achieves the equivalent of one water day between April 1

and October 31 of each year and from November 1 to March 31 the equivalent of once every other week as approved by the Director.

(iii) Irrigation of landscaped areas, trees, lawns or foundations is permitted at any time if it is done by means of a handheld hose equipped with an automatic shutoff nozzle, soaker hoses, or by drip irrigation.

(iv) Golf courses using potable water may water fairways on designated watering days only, but may water greens and tee boxes as necessary. Athletic fields may be watered as necessary to insure the safety and well-being of the public.

(v) An exception is allowed where establishment of vegetation is required by TCEQ for storm water permits on new construction.

(vi) Irrigation systems may be turned on, for ten (10) minutes per station, to test and repair the system and insure proper operation.

(vii) Except for hand watering with a hand-held hose equipped with an automatic shutoff nozzle, or the use of soaker hoses or drip irrigation systems, irrigation of lawns or landscape areas is prohibited between the hours of 10:00 a.m. and 6:00 p.m.

(h) Existing swimming pools, wading pools, hot tubs or spa-type pools may not be drained and refilled; provided however that water may be added to swimming pools to replace losses during normal use or may be refilled immediately after repair by a commercial pool company.

(i) Discourage hydroseeding, hydromulching, and sprigging, except where establishment of vegetation is required by TCEQ for stormwater permits on new construction.

(3) Stage 3. The goal for water use reduction under stage 3 is a reduction of whatever amount is deemed necessary under the circumstances to accomplish objectives of this article. During a stage 3 shortage:

(a) The City may continue or initiate any actions available under stages 1 and 2.

(b) The City will, in the manner it deems necessary and appropriate, endeavor to implement viable alternative water supply strategies.

(c) Use of water to wash any vehicle at any location other than a commercial vehicle washing facility, including without limitation a motor vehicle, motorcycle, boat, trailer, or airplane, is prohibited unless for health, sanitation or safety reasons and for essential governmental purposes.

(d) Irrigation of landscape areas, foundations, trees and lawns with hose-end sprinklers or automatic irrigation systems is prohibited. Landscape areas, foundations, and trees may be watered for up to 2 hours on any day by a handheld hose equipped with an

automatic shutoff nozzle, a soaker hose, or a drip irrigation system. Athletic fields may be watered as necessary to insure the safety and wellbeing of the public.

(e) Permitting of pools is prohibited. Pools already permitted may be completed and filled with water. Existing pools may add water to maintain pool levels but may not be drained and refilled.

(f) Discourage the establishment of new landscaping. An exception is allowed where establishment of vegetation is required by TCEQ for storm water permits on new construction.

(g) Prohibit golf course watering with potable water except for greens and tee boxes.

(h) Require all commercial uses to reduce water use by a percentage established by the City Manager or his designee.

Sec. 51.94 Water rationing surcharges

Surcharges on water consumption may be imposed and collected during any drought stage approved by the Council.

Sec. 51.95 Enforcement

Water use restrictions imposed in stage 1, 2 and 3 drought stages may be enforced as follows:

(1) Upon the first or a subsequent violation, a customer may be issued a citation, with minimum and maximum fines as established by ordinance.

(2) Upon the second or a subsequent violation, the City may cut off water service to the customer. Services discontinued pursuant to this subsection will be restored only upon payment of a reconnection charge as set forth in [section 50.30\(D\)\(1\)\(b\)](#) of this Code.

(3) Any person in apparent control of the premises where a violation occurs or originates is presumed to be the violator, and proof that the violation occurred on the person's premises constitutes a rebuttal presumption that the person in apparent control of the property committed the violation. Parents are presumed to be responsible for violations of their minor children and proof that a violation, committed by a child, occurred on the premises under the parent's control constitutes a rebuttal presumption that the parent committed the violation. The presumption may be rebutted by proof that the parent had previously directed the child not to use the water as it was used in violation of the plan and that the parent could not have reasonably known of the violation.

Sec. 51.96 Variances

(A) The director may, in writing, grant a temporary variance of existing water uses otherwise prohibited under the plan if the director determines that the failure to grant such a variance would cause an emergency condition adversely affecting the public health, safety or welfare, or the person requesting the variance would suffer an undue hardship and the person demonstrates that:

(1) Compliance with the plan cannot be technically accomplished during the duration of the water supply shortage or other condition for which the plan is in effect; or

(2) Alternative methods can be implemented which will achieve a similar level of reduction in water use.

(B) A petition for a variance must include the following:

(1) The name and address of petitioners;

(2) The purpose of the intended water use;

(3) The specific requirement of the plan from which the petitioner is requesting relief;

(4) A detailed statement as to how the specific requirement creates a hardship unique to the petitioner or adversely affects the petitioner, and a statement as to what damage or harm will occur to the petitioner or others if the petitioner complies with this article;

(5) A description of the relief requested;

(6) The period of time for which the variance is sought; and

(7) A description of what alternative water use restrictions or other measures the petitioner is taking or proposes to take in order to meet the intent of this plan.

(C) Unless waived or modified in writing by the director, a variance granted under this section shall include a timetable for compliance and shall contain a condition terminating the variance if the petitioner fails to meet a specified requirement of the variance.

(D) No variance will be retroactive or otherwise justify any violation of this plan that occurs prior to the issuance of the variance.

Sec. 51.97 Provisions to inform the public and opportunity for public comment

The City will provide the opportunity for public input in the development of this water resource emergency plan by the following means:

(1) Providing written notice of the proposed plan and opportunity to comment on the plan by newspaper, posted notice and/or notice on the City's website.

(2) Providing the draft plan to anyone requesting a copy.

(3) Holding a public meeting to give the public the opportunity to provide input on the plan. The meeting will be held at a time and location convenient to the public.

Sec. 51.98 Provisions for continuing public education and information

(A) The City will inform and educate the public about the water resource emergency plan by the following means:

(1) Preparing a bulletin describing the plan and making it available at City Hall and other appropriate locations.

(2) Making the plan available to the public through the City's website.

(3) Including information about the water resource emergency plan on the City's website.

(4) Notifying local organizations, schools, and civic groups that staff are available to make presentations on the drought contingency plan (usually in conjunction with presentations on water conservation programs).

(B) At any time the drought contingency plan is activated or the drought stage changes, the City will notify local media of the issues, the drought response stage, and the specific actions required of the public. The information will also be publicized on the City's website. Billing inserts will also be used as appropriate.

Sec. 51.99 Coordination with the regional water planning group

A letter will be sent to the chair of the region C water planning group with a copy of this water resource emergency plan. The city will also send a copy of this water resource emergency plan to NTMWD.

Sec. 51.99.1 Review and update of water resource emergency plan

As required by TCEQ rules, the City will review and update the water resource emergency plan every five years. The plan will be updated as appropriate based on new or updated information.”

SECTION 2

That, except as otherwise provided in this Ordinance, a violation of any provision of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances of the City of Garland, Texas. The City's authority to seek injunctive relief or other civil relief available under the law is not limited by this section.

SECTION 3

That Chapter 51, “General Utility Provisions”, of the Code of Ordinances of the City of Garland, Texas, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

SECTION 4

That terms and provisions of this Ordinance are severable and are governed by Section 10.06 of the code of Ordinances of the City of Garland, Texas.

SECTION 5

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this the _____ day of _____, 2015.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary

ORDINANCE NO.

AN ORDINANCE AMENDING CHAPTER 51, “GENERAL UTILITY PROVISIONS”, OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A PENALTY CLAUSE, A SAVINGS CLAUSE, AND A SEVERABILITY CLAUSE AND PROVIDING AN EFFECTIVE DATE.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

SECTION 1

That Article VIII of Chapter 51, “General Utility Provisions”, of the Code of Ordinances of the City of Garland, Texas, is hereby amended to read as follows:

“ARTICLE VIII. WATER CONSERVATION PLAN

Sec. 51.116 Declaration of policy, purpose, and intent

In order to conserve the available water supply by providing a consistent mechanism for preventing the waste of water resources, the following regulations and restrictions on the delivery and consumption of water are hereby adopted.

Sec. 51.117 Definitions

In this article:

- (1) Code means the Code of Ordinances of the City, as amended.
- (2) Conservation means those practices, techniques, and technologies that reduce the consumption of water, reduce the loss or waste of water, improve efficiency in the use of water, or increase the recycling and reuse of water so that an adequate supply of water is conserved and made available for future or alternative uses.
- (3) Customer means any person (as that term is defined in Section 10.03 of this Code) using or receiving water supplied by the City.
- (4) Director means the Managing Director of Water, Wastewater, and Water Recycling of the City, his or her designee, or such other individual to whom the City Manager has appointed the duties and authority under this article.
- (5) Drip irrigation is a method of landscape irrigation involving irrigation tubing that provides water directly to the roots of the plants.
- (6) Landscape irrigation use means water used for the irrigation and maintenance of landscaped areas, whether publicly or privately owned, including residential and commercial lawns, gardens, golf courses, parks, and rights-of-way and medians.

(7) Municipal per capita water use is the sum total of water diverted into a water supply system for residential, commercial, public, and institutional uses divided by actual population served.

(8) Municipal water use is the amount of potable water used for residential, commercial, public, and institutional applications.

(9) Reuse is the authorized use for one or more beneficial purposes of water that remains unconsumed after the water is used for the original purpose of use and before that water is either disposed of or discharged or otherwise allowed to flow into a watercourse, lake, or other body of state-owned water.

(10) Soaker hose is a type of water hose made of porous material that allows water to seep out of the hose without spraying water into the air.

(11) Unaccounted-for water is the difference between the amount of water delivered by the City's wholesale water supplier and the amount of water sold by the City. Unaccounted-for water can include inaccurate or incomplete recordkeeping, meter error, unmetered uses (i.e. firefighting), leaks, and water theft or unauthorized use.

(12) Water conservation goals are measures of water consumption on a per capita basis set by the City as a benchmark for evaluating the effectiveness of the water conservation plan.

(13) Water conservation plan is a strategy or combination of strategies for reducing the volume of water withdrawn from a water supply source, for reducing the loss or waste of water, for maintaining or improving the efficiency in the use of water, for increasing the recycling and reuse of water, and for preventing the pollution of water. A water conservation plan is required by title 30, part 1, chapter 288, subchapter A, rule 288.2 of the Texas Administrative Code.

Sec. 51.118 Water utility profile

The director shall endeavor to set water conservation goals for the City based on data collected and reported in the water utility profile filed with the Texas Commission on Environmental Quality (or successor agency) as required or provided by law. The profile shall include information regarding population and customer data, water usage data, water supply system data, and wastewater system data. The director shall ensure that a copy of the most current filed report is available for public inspection and copying.

Sec. 51.119 Water conservation goals

Water conservation goals are established to provide a reduction in the per capita water use over current water use. These goals can be realized from incorporation of water savings measures. The planning goals for the City include the following:

Municipal per capita water use at or below 141.0 gallons per capita per day (gpcd) by the year 2019 and at or below 138.0 gpcd by the year 2024. Municipal per capita water use shall be calculated on an annual basis.

Sec. 51.120 Water conservation savings elements

The following measures shall be implemented as a part of the water conservation plan in an effort to track water use and control water losses.

(1) Water source metering. The director shall endeavor to take monthly meter readings at each pumping station that pumps water into the City's water distribution system. These meters shall be within an accuracy of plus or minus 5 percent. These readings shall be recorded in a recordkeeping data base.

(2) Enforcement measures. The City has established criminal penalties and provided for the assessment of service fees for tampering with, bypassing, or diverting water distributed by the Water Department.

(3) Universal metering. The director shall endeavor to meter all water connections to the City's water distribution system including all residential, commercial, and industrial users, parks, public areas, and municipal facilities; provided however, that the director need not attempt to meter connections for water uses which are not from permanently metered locations, such as water used in fire protection, new construction, line flushing, maintenance flushing, storm sewer flushing, jet truck filling, fire hydrant flushing, and other required system flushing.

(4) Meter repair and replacement. The director shall endeavor to test and repair meters on an as needed basis. All meters shall be periodically replaced on an as needed basis.

(5) Control of unaccounted-for water. The director shall endeavor to maintain unaccounted-for water below 12 percent, as recommended by the City's water purveyor, the North Texas Municipal Water District (NTMWD). The amount of unaccounted-for water shall be monitored on an annual basis. If the amount of unaccounted-for water exceeds 12 percent, the director shall take appropriate actions to reduce the amount of unaccounted-for water. Actions may include the following:

- (a) Meter replacement and/or repair.
- (b) Large meter recalibration.
- (c) Aggressive leak detection program.
- (d) Water audit.
- (e) Any other action deemed necessary to reduce the unaccounted-for water use.

(6) Record management. Based on requirements of the Texas Administrative Code, the director shall separate water use into the following categories:

- (a) Residential.
 - (i) Single Family

(ii) Multi-Family

- (b) Commercial.
- (c) Public/institutional.
- (d) Industrial.
- (e) Agricultural.
- (f) Wholesale.

(7) Leak detection and repair. The director shall monitor water lines by visual inspection and sound amplifiers on a daily basis for potential water leaks. Water lines shall be upgraded and replaced as necessary to correct any deficiencies.

(8) Public education and information. The director shall endeavor to provide the public with information on water conservation with activities such as:

- (a) Publication of information in a newspaper of general circulation in the City; publication in the “City Press”; posting information on the City’s internet website; and including inserts in utility bills highlighting water conservation material.
- (b) Water conservation presentations at schools and other meetings at the request of the organization.
- (c) Providing water conservation kits to residents who live along replaced water mains.
- (d) Providing water conservation material at City public buildings.

(9) Conservation water rate structure. The City has implemented a three-tier increasing block rate structure to discourage waste of water replacing the existing uniform rate type structure.

(10) Water reuse and recycling. Treated wastewater plant effluent is reused at the City’s two wastewater treatment facilities for plant wash down, on-site plant irrigation, and chlorination/dechlorination. Additional reuse includes diversion of treated effluent to a local power plant and NTMWD. The Director shall continue to identify additional opportunities for treated effluent reuse.

(11) Water conserving water fixtures. Section 30.80 of this Code adopts the plumbing code, which requires new toilets, showerheads, and faucets that are installed to meet reduced water use requirements. Use of these new fixtures in new construction and in remodeling will reduce water demand.

(12) Showerhead replacement program. The City provides low-flow showerheads to customers with showerheads with flows greater than 2.5 gpm. The showerheads are provided to customers impacted by mainline replacement at the completion of the project.

(13) Wholesale water customers. Any contract that the director may enter into for the wholesale sale of water after the adoption of the water conservation plan shall include the requirements that the wholesale customer develop and implement a water conservation plan that meets the requirements of title 30, part 1, chapter 288, subchapter A, rule 288.2 of the Texas Administrative Code.

(14) Water service in food service establishments. It is an offense for an owner or employee of a food service establishment to serve water to a patron unless requested by the patron.

(15) Reservoir system operation plan. The City purchases all of its water from NTMWD, which utilizes system operation. The City does not have its own surface water supplies for which to implement a system operation plan.

(16) Monitoring effectiveness of the water conservation plan. The City monitors the effectiveness of the Water Conservation Plan on an annual basis.

(17) Conservation measures relating to lawn and landscape irrigation. Lawn and landscape irrigation practices within the City can cause a waste of valuable water resources. The purpose of this subsection is to assure that water be used for lawn and landscape irrigation in a manner that prevents waste and conserves water resources. All new irrigation systems must be in compliance with state design and installation regulations.

(a) Lawn and landscape irrigation restrictions; offenses.

(i) Watering with sprinklers or irrigation systems is limited to no more than two days per week (April 1 – October 31), and no more than one day a week (November 1 – March 31) provided no active drought restrictions are in effect. A person commits an offense if he knowingly or recklessly irrigates, waters, or causes or permits the irrigation or watering of a lawn or landscape located on premises owned, leased, or managed by him in a manner which exceeds the weekly watering limitations set forth in this section.

(ii) Except for hand watering using an automatic shutoff nozzle and or the use of soaker hoses or drip irrigation systems, a person commits an offense if, between the hours of 10:00 a.m. and 6:00 p.m., he knowingly or recklessly irrigates, waters, or causes or permits the irrigation or watering of a lawn or landscape located on premises owned, leased, or managed by him.

(iii) A person commits an offense if he knowingly or recklessly irrigates, waters or causes or permits the irrigation or watering of a lawn or landscape located on premises owned, leased, or managed by the person in a manner that causes:

a. A substantial amount of water to fall upon impervious areas instead of upon the lawn or landscape, such that a constant stream of water overflows from the lawn or landscape onto a street or other drainage area; or

b. An irrigation system or other lawn or landscape watering device to operate during any form of precipitation.

(iv) A person commits an offense if, on premises owned, leased, or managed by him, he operates a lawn or landscape irrigation system or device that:

- a. Has any broken or missing sprinkler head; or
- b. Has not been properly maintained in a manner that prevents the waste of water.

(b) Rain sensing devices and freeze gauges.

i. Any new irrigation system installed within the City on or after June 1, 2007, must be equipped with a rain sensing devices and freeze gauges approved as to number and type by the director.

ii. A person commits an offense if, on premises owned, leased, or managed by him, he:

- a. Installs, or causes or permits the installation of, a new irrigation system in violation of subsection (b)(1);
- b. Operates, or causes or permits the operation of, an irrigation system that does not comply with subsection (b)(a);
- c. Fails to maintain the rain/freeze sensor in proper functioning order.

(c) At home car washing can be done only when using a water hose with an automatic shut-off nozzle.

- (18) The Director shall endeavor to coordinate with the regional water planning group in order to ensure consistency with the approved regional water plan.
- (19) Hotels and motels are encouraged to offer a linen reuse water conservation option to customers.”

SECTION 2

That, except as otherwise provided in this Ordinance, a violation of any provision of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances of the City of Garland, Texas. The City’s authority to seek injunctive relief or other civil relief available under the law is not limited by this section.

SECTION 3

That Chapter 51, “General Utility Provisions”, of the Code of Ordinances of the City of Garland, Texas, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

SECTION 4

That terms and provisions of this Ordinance are severable and are governed by Section 10.06 of the code of Ordinances of the City of Garland, Texas.

SECTION 5

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this the _____ day of _____, 2015.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary



File No. 15-13/District 7

Agenda Item:

Meeting: City Council

Date: June 2, 2015

Planning Report

Houshang Jahvani

On the east side of Jupiter Road, approximately 140 feet north of the intersection of Jupiter Road and Collins Boulevard

REQUEST

Approval of 1) an amendment to Planned Development (PD) District 03-22 for Office-1 Uses and 2) a Detail Plan for Medical Office.

OWNER

HCK Infinity LLC

PLAN COMMISSION RECOMMENDATION

On May 11, 2015 the Plan Commission, by a vote of nine (9) to zero (0), recommended approval of an amendment to Planned Development (PD) District 03-22 for Office-1 Uses and a Detail Plan for Medical Office.

STAFF RECOMMENDATION

Approval of 1) an amendment to Planned Development (PD) District 03-22 for Office-1 Uses and 2) a Detail Plan for Medical Office. In addition to meeting all applicable development regulations, the proposed Detail Plan brings forward a building design and site layout that is consistent with the existing office developments and compatible with the surrounding residential neighborhoods.

BACKGROUND

In 2003 City Council approved Planned Development (PD) 03-22 for Office-1 Uses and Animal Clinic, which included the subject property as well as the contiguous animal clinic site to the north and the adjacent medical office site to the south. The intent of Planned Development (PD) 03-22 was to allow the development of office uses and buildings that would be compatible in scale and design with the surrounding residential neighborhoods. The applicant is proposing to develop the subject property with a medical office.

SITE DATA

The subject property contains approximately 0.767 acres and 125 linear feet of street frontage along Jupiter Road. The site will be accessed from Jupiter Road.

USE OF PROPERTY UNDER CURRENT ZONING

In addition to Animal Clinic, Planned Development (PD) 03-22 allows only those uses as permitted in the Office-1 (O-1) District. The Office 1 (O-1) District provides for low-rise office and professional service development. This District is appropriately located adjacent to residential districts and may be used as a transition or buffer between residential uses and more intensive non-residential activity. Planned Development (PD) District 03-22 requires approval of a Detail Plan prior to any development. It should be noted that Medical Office is permitted by right; therefore, the only item under consideration for approval is the proposed Detail Plan.

CONSIDERATIONS

1. The applicant proposes a 4,925-square foot medical office. The building would be oriented facing Jupiter Road with parking between Jupiter Road right-of-way and the building as well as behind the building. The placement of the medical office and all other structures exceeds the minimum required setbacks.
2. The parking requirement for Medical Office is 1 parking space for every 200 square feet of gross floor area. With a floor area of 4,925-square feet, the proposed development requires 25 parking spaces; the Detail Plan reflects 28 parking spaces. The 7 parking spaces located behind the building will be accessed from Jupiter Road by means of an access easement that will be located on the adjacent animal clinic site to the north. The access easement shall be dedicated by replat.
3. The proposed landscape layout is in full compliance with the Screening and Landscape Standards with the exception of the 7-foot landscape buffer along Jupiter Road which was established by Planned Development (PD) District 03-22 and is consistent with the animal clinic site to the north and the medical office to the south. Planned Development (PD) District 03-22 waived the required screening from the residential zoned properties to the east due to the natural vegetation along the creek accomplishing the intent of Section 6.1.1 of the Screening and Landscape Standards.
4. The proposed facade materials consist of brick and stone veneer. Moreover, the high pitch roof, colors on exterior walls and scale of building make an overall building design that is compatible with the adjacent office developments and surrounding residential neighborhoods.

5. The applicant is proposing to install one monument sign that will be in compliance with the applicable height and sign area restrictions of the Sign Ordinance. The applicant has indicated that any future attached signage will be in compliance with the applicable sign regulations.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Compact Neighborhoods for the subject property. Compact neighborhoods provide areas for moderate increases in residential density, including single-family attached and single-family detached housing. It expands housing options through infill and redevelopment, while continuing walkable development patterns. These areas provide transitions between traditional residential neighborhoods and higher density residential neighborhoods and non-residential developments. These areas also accommodate uses such as convenience retail (goods and services), office space and public services. The architectural character and scale of these areas are compatible with adjacent residential development.

The proposed medical office is situated and designed in a manner which is compatible with the residential character of the existing neighborhood, and with the existing non-residential uses in the immediate vicinity.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

Most of the surrounding properties are zoned for Single Family Uses and developed with single-family residences. However, there is existing non-residential development along a portion of Jupiter Road between Campbell Road and Collins Boulevard. These non-residential developments consist of a medical office, an animal clinic, a church complex and child care centers. The properties to the west of Jupiter Road are within the City of Richardson's jurisdiction.

The proposed medical office is consistent with the type and character of non-residential uses appropriate amid residential development and neighborhood supporting uses. The proposed medical office building will be located within a well-delineated rectangular area that is at the edge of the residential neighborhoods, adjacent to a major thoroughfare and developed with an animal clinic and a medical office.

Prepared By:

Josue De La Vega
Development Planner

Date: May 21, 2015

Reviewed By:

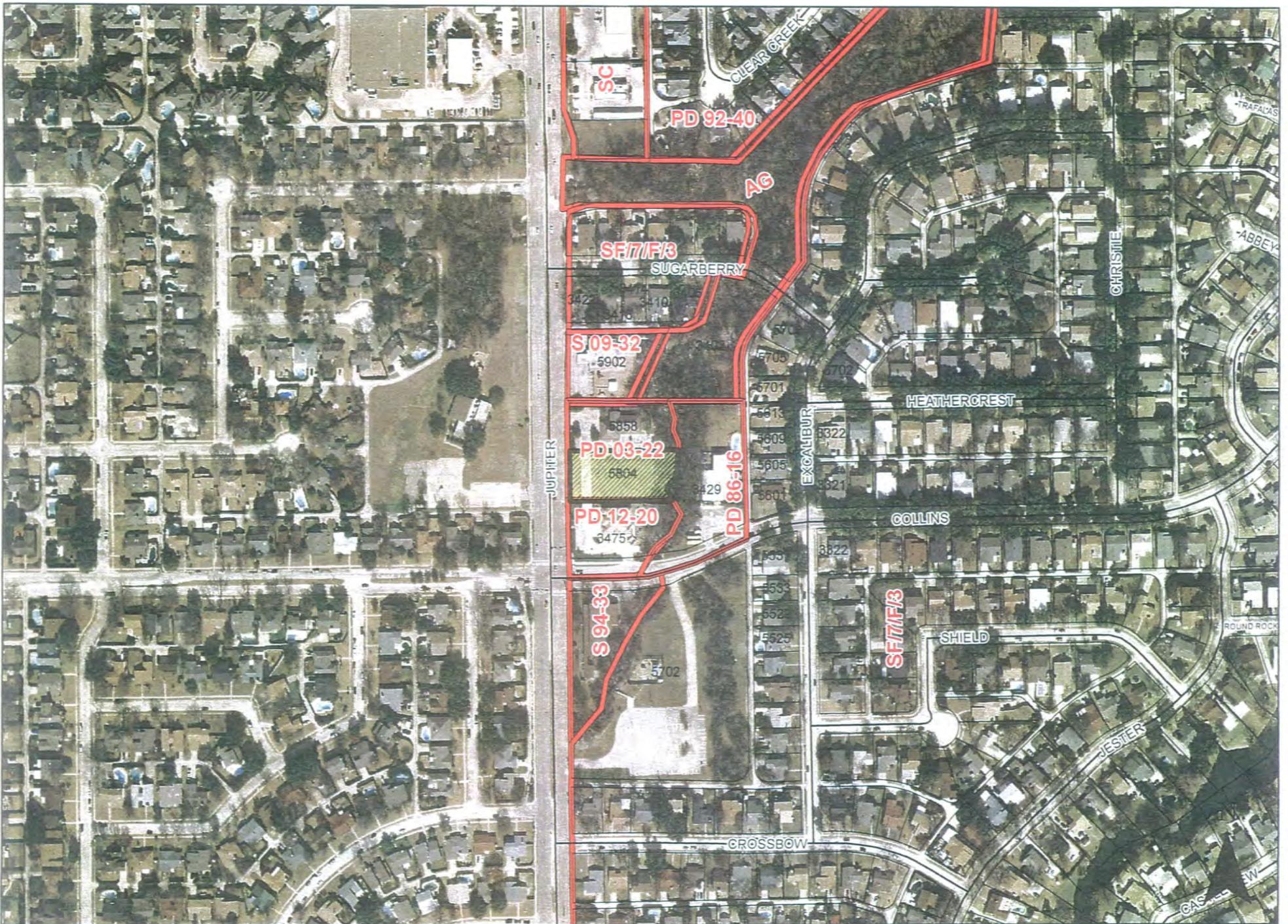
Will Guerin, AICP
Director of Planning

Date: May 22, 2015

Reviewed By:

Bryan Bradford
City Manager

Date: May 26, 2015



0 150 300 Feet
 1 inch = 300 feet

ZONING Z 15-13

 INDICATES AREA OF REQUEST

PLANNED DEVELOPMENT CONDITIONS

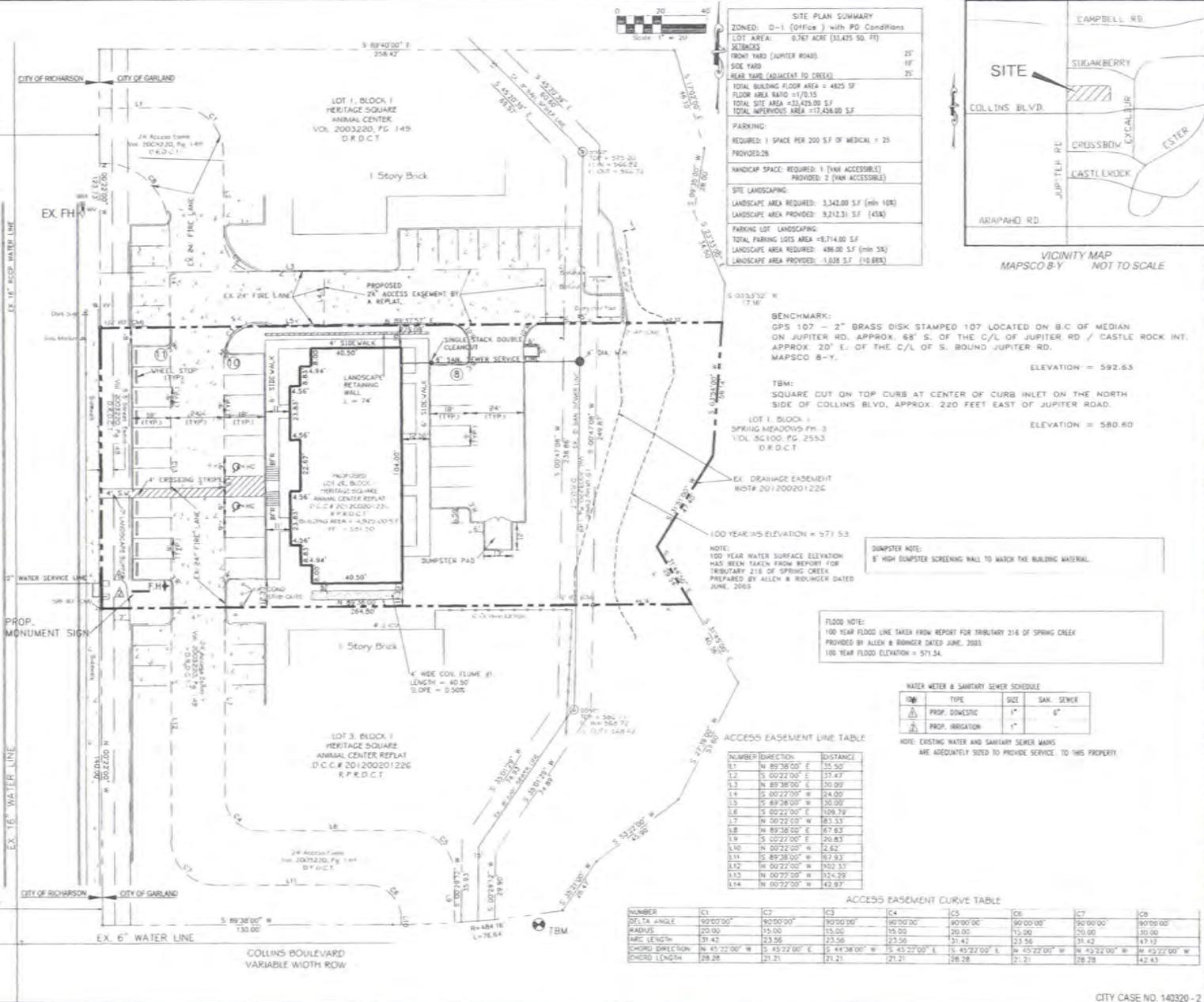
ZONING FILE 15-13

North Corner of Jupiter Road and Collins Boulevard

- I. **Statement of Purpose:** The purpose of this Planned Development District is to permit a Medical Office/Clinic subject to conditions.
- II. **Statement of Effect:** This Planned Development District shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the Office-1 (O-1) District as set forth in Sections 20 and 32 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Development Plans:**
 - A. Detail Plan: Development shall be in general conformance with the Detail Plan. (Exhibit C)
- V. **Specific Regulations:**
 - A. Permitted Uses: No uses shall be permitted except for the uses listed under the Office-1 (O-1) District in Section 20 of the Comprehensive Zoning Ordinance.
 - B. Screening and Landscaping: Screening and landscaping shall be in general conformance with the approved landscape plan labeled Exhibit D. The landscaping shall comply with the Screening and Landscape Standards, with the exception of the following:
 - i. The landscape buffer along Jupiter Road shall have a minimum depth of seven feet.
 - ii. No screening shall be required along the east property line due to the natural vegetation along the creek accomplishing the intent of Section 6.1.1 of the Screening and Landscape Standards.
 - C. Exterior Elevations: The exterior elevations of the building shall be provided as generally shown on the exterior elevations plan. (Exhibit E).
 - D. Signage: The monument sign shall be provided as generally shown on the landscape plan labeled Exhibit D.
 - E. Utilities: All utilities on site shall be underground.

- F. Access Easement: An access easement that is to be shared between the subject property and the adjacent property to the north identified as Lot 1, Block 1, Heritage Square Animal Center shall be dedicated by replat prior to the issuance of a site and building permit for the construction of the medical office on the subject property. The common access easement shall provide access from Jupiter Road to the parking area behind the proposed medical office.

JUPITER ROAD
100' ROW



SITE PLAN SUMMARY

ZONED: D-1 (Office) with PD Conditions

LOT AREA: 8.767 ACRE (38,475 SQ. FT.)

REAR YARD (JUPITER ROAD): 25'

SIDE YARD: 10'

REAR YARD (ADJACENT TO STREET): 25'

TOTAL BUILDING FLOOR AREA = 4825 SF

FLOOR AREA RATIO = 1/2.15

TOTAL SITE AREA = 31,425.00 SF

TOTAL IMPERVIOUS AREA = 17,426.00 SF

PARKING:

REQUIRED: 1 SPACE PER 200 SF OF MEDICAL = 25

PROVIDED: 28

MANICAP SPACE: REQUIRED: 1 (NON ACCESSIBLE)

PROVIDED: 2 (NON ACCESSIBLE)

SITE LANDSCAPING:

LANDSCAPE AREA REQUIRED: 3,342.00 SF (MIN 10%)

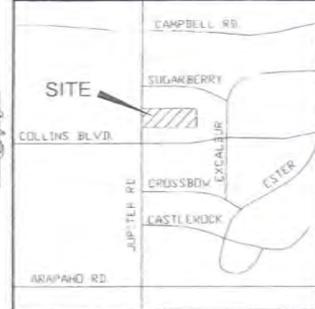
LANDSCAPE AREA PROVIDED: 9,212.31 SF (43%)

PARKING LOT LANDSCAPING:

TOTAL PARKING LOTS AREA = 5,714.00 SF

LANDSCAPE AREA REQUIRED: 486.00 SF (MIN 8%)

LANDSCAPE AREA PROVIDED: 1,818 SF (10.8%)



VICINITY MAP
MAPSCO 8-Y
NOT TO SCALE

BENCHMARK:

GPS 107 2" BRASS DISK STAMPED 107 LOCATED ON B.C. OF MEDIAN ON JUPITER RD. APPROX 68' S. OF THE C/L OF JUPITER RD / CASTLE ROCK INT. APPROX 20' E. OF THE C/L OF S. BOUND JUPITER RD. MAPSCO 8-Y. ELEVATION = 592.63

TBM:

SQUARE CUT ON TOP CURB AT CENTER OF CURB INLET ON THE NORTH SIDE OF COLLINS BLVD, APPROX. 220 FEET EAST OF JUPITER ROAD. ELEVATION = 580.60

LOT 1, BLOCK 1
SPRING MEADOWS PH. 3
VOL. 56:100 PG. 2553
D.R.C.T.

LOT 1, BLOCK 1
HERITAGE SQUARE ANIMAL CENTER
VOL. 2003220, PG. 149
D.R.C.T.

EX DRAINAGE EASEMENT
NOTA 20/200201226

100 YEAR FLOOD ELEVATION = 571.53

NOTE:
100 YEAR WATER SURFACE ELEVATION HAS BEEN TAKEN FROM REPORT FOR TRIBUTARY 216 OF SPRING CREEK PREPARED BY ALLEN & RIMMER DATED JUNE, 2003.

DUMPSTER NOTE:
8' HIGH DUMPSTER SCREENING WALL TO MATCH THE BUILDING MATERIAL.

FLOOD NOTE:
100 YEAR FLOOD LINE TAKEN FROM REPORT FOR TRIBUTARY 216 OF SPRING CREEK PROVIDED BY ALLEN & RIMMER DATED JUNE, 2003
100 YEAR FLOOD ELEVATION = 571.54

WATER WETER & SANITARY SEWER SCHEDULE

TYPE	SIZE	SAN. SEWER
PROP. DOMESTIC	1"	6"
PROP. IRRIGATION	1"	-

NOTE: EXISTING WATER AND SANITARY SEWER MAINS ARE ADEQUATELY SIZED TO PROVIDE SERVICE TO THIS PROPERTY.

ACCESS EASEMENT LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N 89°38'00" E	55.50
L2	S 00°22'00" E	37.47
L3	N 89°38'00" E	30.00
L4	S 00°22'00" W	24.00
L5	S 89°38'00" W	150.00
L6	S 00°22'00" E	108.79
L7	N 00°22'00" W	83.33
L8	N 89°38'00" E	67.63
L9	S 00°22'00" E	26.83
L10	N 00°22'00" W	2.62
L11	S 89°38'00" W	167.93
L12	N 00°22'00" W	102.33
L13	N 00°22'00" W	52.49
L14	N 00°22'00" W	42.97

ACCESS EASEMENT CURVE TABLE

NUMBER	IC1	IC2	IC3	IC4	IC5	IC6	IC7	IC8
DEL. TA. ANGLE	90°00'00"	90°00'00"	90°00'00"	90°00'00"	90°00'00"	90°00'00"	90°00'00"	90°00'00"
RADIUS	250.00	150.00	150.00	150.00	200.00	175.00	750.00	350.00
ARC LENGTH	31.42	23.56	23.56	23.56	31.42	23.56	31.42	147.12
CHORD DIRECTION	N 45°22'00" W	S 45°22'00" E	S 44°38'00" W	S 45°22'00" E	S 45°22'00" E	N 45°22'00" W	N 45°22'00" W	N 45°22'00" W
CHORD LENGTH	28.28	21.21	21.21	21.21	28.28	21.21	28.28	42.43

JUPITER DENTAL CLINIC
LOT 2R, BLOCK 11, HERITAGE SQUARE ANIMAL CLINIC REPLAT
5814 N. JUPITER ROAD
GARLAND, TEXAS 75044

JAHVANI CONSULTING ENGINEERS, INC.
TYPE REGISTRATION NO. 7-10198
2121 N. JOSEY LANE, #100
CARROLLTON, TEXAS 75006
TEL. (972) 718-8469
jahvani@earthlink.net



DWG. TITLE: **SITE PLAN**

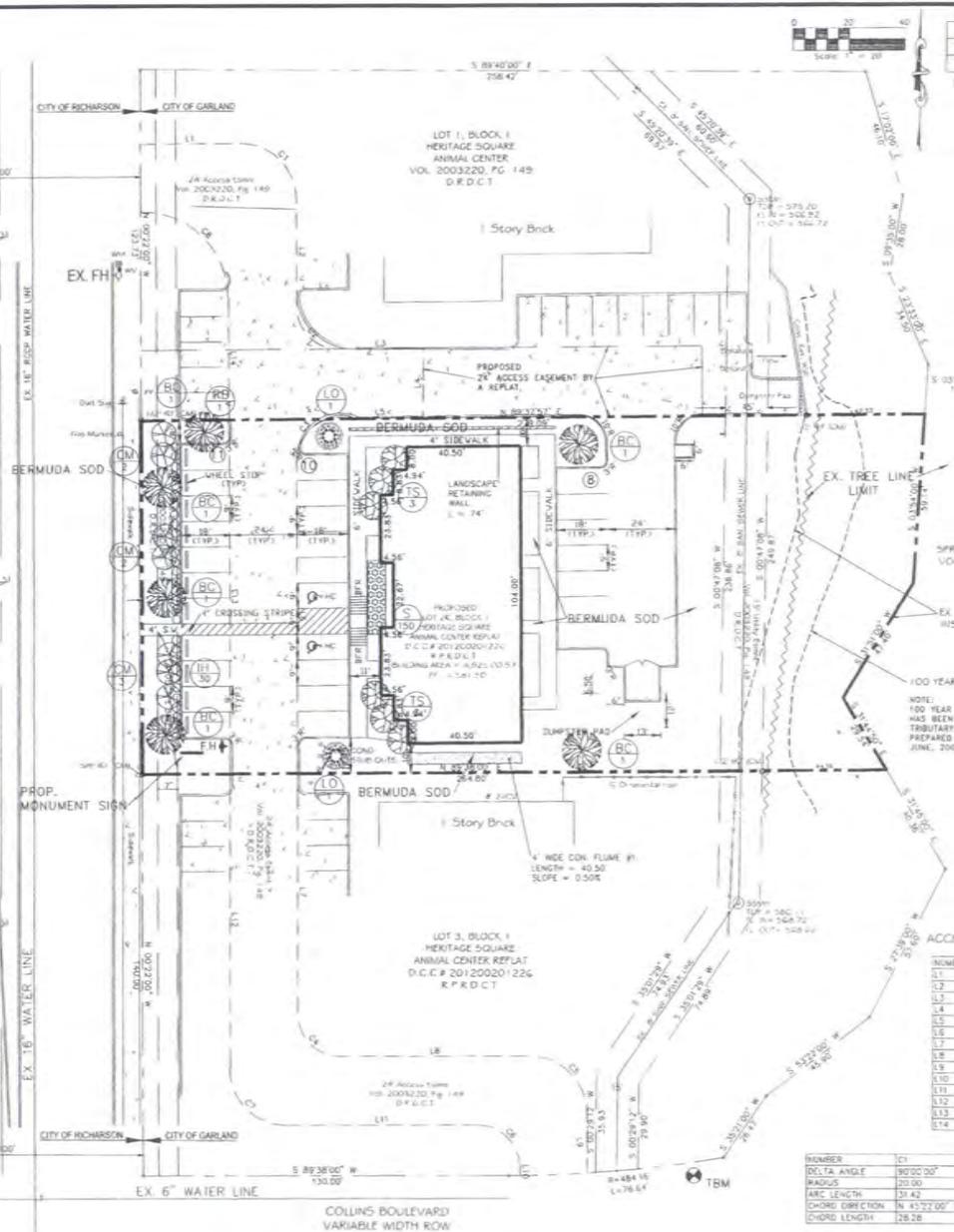
DATE: 4-14-2015

4 OF 12 SHEET NUMBER

CITY CASE NO. 140320-2

EXHIBIT C

JUPITER ROAD
100' ROW



WATER METER & SANITARY SEWER SCHEDULE

ID#	TYPE	SIZE	SAN. SEWER
1	PROP. DOMESTIC	1"	6"
2	PROP. IRRIGATION	1"	-

NOTE: EXISTING WATER AND SANITARY SEWER MAINS ARE ADEQUATELY SIZED TO PROVIDE SERVICE TO THIS PROPERTY.

SITE PLAN SUMMARY

ZONED: O-1 (Office) with PD Conditions

LOT AREA: 0.767 ACRE (33,425 SQ. FT)

SETBACKS
FRONT YARD (JUPITER ROAD): 25'
SIDE YARD: 10', 25'
REAR YARD (ADJACENT TO CREEK): 25'

TOTAL BUILDING FLOOR AREA = 4925 SF
FLOOR AREA RATIO = 1/3.13
TOTAL SITE AREA = 33,425 SQ. SF
TOTAL IMPERVIOUS AREA = 17,450.00 SF

PARKING:
REQUIRED: 1 SPACE PER 200 S.F. OF MEDICAL = 25
PROVIDED: 29

HANDICAP SPACE: REQUIRED: 1 (VAN ACCESSIBLE)
PROVIDED: 2 (VAN ACCESSIBLE)

SITE LANDSCAPING:
LANDSCAPE AREA REQUIRED: 3,342.00 S.F. (min 10%)
LANDSCAPE AREA PROVIDED: 9,212.31 S.F. (43%)

PARKING LOT LANDSCAPING:
TOTAL PARKING LOTS AREA = 9,714.00 S.F.
LANDSCAPE AREA REQUIRED: 486.00 S.F. (min 5%)
LANDSCAPE AREA PROVIDED: 1,638 S.F. (10.68%)

PLANTING SCHEDULE (LARGE TREES)

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SOIL/CL.	HEIGHT	SPACING
(Symbol)	1	BALD CYPRESS	<i>Taxodium distichum</i>	4"	60' MIN.	10'-0" ON CEN.
(Symbol)	2	LIVE OAK	<i>Quercus virginiana</i>	3"	40' MIN.	40'-0" ON CEN.

PLANTING SCHEDULE (SMALL ORNAMENTAL TREES)

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SOIL/CL.	HEIGHT	SPACING
(Symbol)	1	ORANGE BLOSSOM TREE	<i>Eschscholzia affinis</i>	1' FT.	4'-0" MIN.	45'-0" ON CEN.

PLANTING SCHEDULE (SHRUBS)

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SOIL/CL.	HEIGHT	SPACING
(Symbol)	6	TEXAS SHADE	<i>Leucanthes frutescens</i>	2 GAL.	24"	45'-0" ON CEN.
(Symbol)	30	INDIAN ANEMONE	<i>Anemone pulsatilla</i>	1 GAL.	24"	3' O.C.

PLANTING SCHEDULE (SEASONAL)

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SOIL/CL.	HEIGHT	SPACING
(Symbol)	100 SF	SEASONAL	SEASONAL	-	-	-

ACCESS EASEMENT LINE TABLE

NUMBER	DIRECTION	DISTANCE
0.1	N 89°38'00" E	35.50
0.2	S 00°22'00" E	37.47
0.3	N 89°38'00" E	30.00
0.4	S 00°22'00" W	24.00
0.5	S 89°38'00" W	35.00
0.6	S 00°22'00" E	109.79
0.7	N 00°22'00" W	83.33
0.8	N 89°38'00" E	67.63
0.9	S 00°22'00" E	37.63
1.0	N 00°22'00" W	2.62
1.1	S 89°38'00" W	87.93
1.2	N 00°22'00" W	102.33
1.3	N 00°22'00" W	124.29
1.4	N 00°22'00" E	42.97

DUMPSTER NOTE:
8' HIGH DUMPSTER SCREENING WALL TO MATCH THE BUILDING MATERIAL.

SOD NOTE:
ALL DISTURBED AREAS TO BE GRASSED WITH BERMUDA SOD.

ACCESS EASEMENT CURVE TABLE

NUMBER	C1	C2	C3	C4	C5	C6	C7	C8
DELTA ANGLE	90°00'00"	90°00'00"	90°00'00"	90°00'00"	90°00'00"	90°00'00"	90°00'00"	90°00'00"
RADIUS	20.00	15.00	15.00	15.00	20.00	15.00	20.00	30.00
ARC LENGTH	30.42	23.56	23.56	23.56	30.42	23.56	30.42	47.12
CHORD DIRECTION	N 45°22'00" W	S 45°22'00" E	S 44°38'00" W	S 45°22'00" E	S 45°22'00" E	N 45°22'00" W	N 45°22'00" W	N 45°22'00" W
CHORD LENGTH	28.26	21.21	21.21	21.21	28.26	21.21	28.26	42.43

JUPITER DENTAL CLINIC
LOT 2R, BLOCK "1", HERITAGE SQUARE ANIMAL CLINIC REPLAT
5814 N. JUPITER ROAD
GARLAND, TEXAS 75044

JAHVANI CONSULTING ENGINEERS, INC.
TIME REGISTRATION NO. 1-10198
2121 N. JOSEY LANE, #100
CARROLLTON, TEXAS 75006
TEL. (214) 718-9469
jahvan@polimail.com

REVISORS DATE

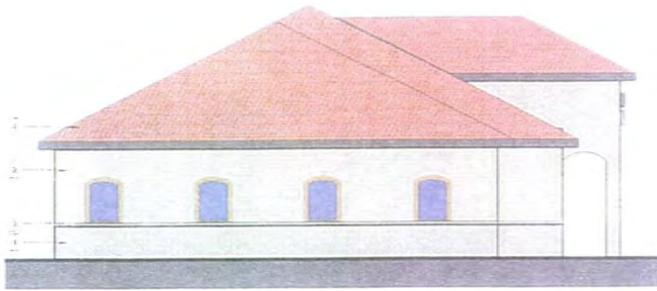
SEAL

DWG. TITLE
LANDSCAPE PLAN

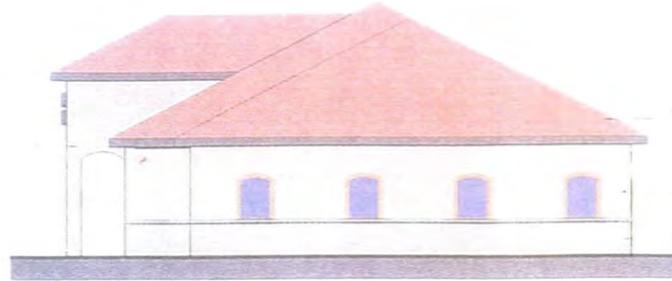
DRAWN BY: HJ
SCALE: 1" = 20'

DATE: 4-14-2015

11 OF 12 SHEET NUMBER



03 NORTH ELEVATION
SCALE 1/8" = 1'-0"

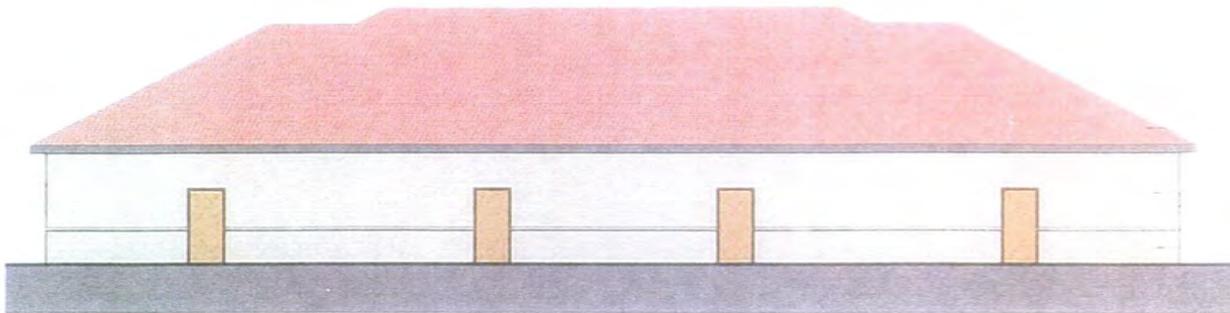


04 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

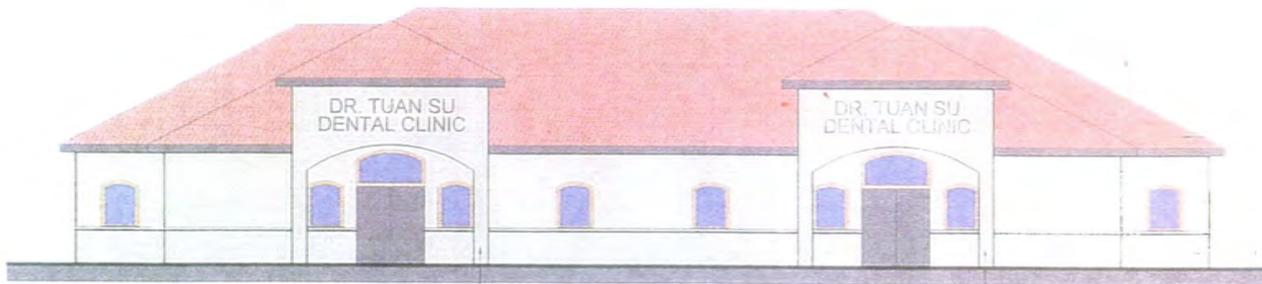
MATERIAL - FGDAD

1. WALL	2. ROOF	3. FLOORING
4. EXTERIOR FINISH	5. INTERIOR FINISH	6. PAINT
7. GLASS	8. METALS	9. OTHER
10. FURNITURE	11. EQUIPMENT	12. SIGNAGE

NOTE: COLOR ON ELEVATIONS ARE FOR GRAPHIC PURPOSES ONLY. STONE AND FACE BRICK TO MATCH BEIGE COLOR FROM ADJACENT MEDICAL BUILDING.



02 EAST ELEVATION
SCALE 1/8" = 1'-0"



01 WEST ELEVATION
SCALE 1/8" = 1'-0"



214.477.1112
Garland, TX
jaxdesignstudio@yahoo.com

EXHIBIT E

JUPITER DENTAL CLINIC
LOT 2R BLOCKK '1', HERITAGE
SQUARE ANIMAL CLINIC REPLAT
5814 N. JUPITER ROAD
GARLAND, TEXAS 75042

REPORT & MINUTES

P.C. Meeting, May 11, 2015 (9 Members Present)

Consideration of the application of Houshang Jahvani, requesting approval of 1) an amendment to Planned Development (PD) District 03-22 for Office-1 Uses and 2) a Detail Plan for Medical Office. This property is located on the east side of Jupiter Road, approximately 140 feet north of the intersection of Jupiter Road and Collins Boulevard. (District 7) (This request was postponed from the April 27, 2015 Plan Commission meeting) (File Z 15-13)

Motion was made by Commissioner Fisher, seconded by Commissioner Ott to **approve** the request per staff recommendation. **Motion carried:** 9 Ayes, 0 Nays.



GARLAND

April 16, 2015

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

HEARING DATE/TIME: Plan Commission: April 27, 2015 -- 7:00 PM

APPLICANT: Houshang Jahvani

File Z 15-13

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, April 27, 2015, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Houshang Jahvani** requesting approval of 1) an amendment to Planned Development (PD) District 03-22 for Office-1 Uses and 2) a Detail Plan for Medical Office. The property is shown on the enclosed sketch and is described as follows:

Being approximately a 0.767-acre tract of land and identified as Lot 2R, Block 1, Heritage Square Animal Center Replat, an addition to the City of Garland as shown on the Plat recorded in instrument No. 201200201226 of the Map Records of Dallas County, Texas. The property is located on the east side of Jupiter Road, approximately 140 feet north of the intersection of Jupiter Road and Collins Boulevard, Garland, TX. (District 7)

Note: The applicant proposes to develop the subject property with a dental clinic.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002** or by fax to **972-205-2474**. Should you have any questions, please contact Josue De La Vega at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address 3322 HEATHERCREST DR.

Printed Name LACEY ELLIOTT ↗ GARLAND, TX 75044

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Lacey Elliott Title Home owner

Date: 4/20/2015



Planning Report

Montgomery Motors

4110 and 4106 O'Banion Road

REQUEST

Approval of a Specific Use Permit for Automobile Sales, Used on property zoned Commercial-1 (C-1) District

OWNER

Montgomery Motors

PLAN COMMISSION RECOMMENDATION

On May 11, 2015, the Plan Commission, by a vote of eight (8) to zero (0) recommended approval of Automobile Sales, Used on property zoned Commercial-1 (C-1) District.

STAFF RECOMMENDATION

Approval of the Specific Use Permit for Automobile Sales, Used. Approval of a Specific Use Permit to allow for the continued sale of automobiles would be consistent with the adjacent zoning and land uses.

BACKGROUND

The property located at 4106 O'Banion Road, was originally developed in 1975 with Automobile Sales, Used under a perpetual Specific Use Permit (S-3) and has continued in operation over the years. In 2010, a Specific Use Permit was granted (S10-26) for customized trailer sales which are classified as Vehicle Sales, Leasing and Repair other than automobile/motorcycles. The custom trailer sales are no longer operating from the subject property. There is also an existing Specific Use Permit for Automobile Sales, Used (S95-4) for 4110 O'Banion Road, which expires in June 2015. The applicant requests renewal of the Specific Use Permit S95-4 to continue to use the existing building and associated parking for Automobile Sales, Used.

SITE DATA

The subject property contains approximately 0.821 acres in area, fronting approximately 250 feet along O'Banion Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is restricted to the uses permitted in the Commercial-1 (C-1) District, referenced in the Comprehensive Zoning Ordinance. The Commercial-1 (C-1) District allows a broad range of commercial sales, service and repair activities, many of which are not appropriate in a retail or office environment. The Commercial Districts accommodate intensive and potentially incompatible activities and should not be located adjacent to residential neighborhoods. The Commercial-1 (C-1) District permits Automobile Sales, Used by Specific Use Permit only.

CONSIDERATIONS

1. There are two existing buildings on the subject property. The building at 4106 O'Banion Road is 3,853 square feet and will be occupied with office space for the automobile sales. There is a 2,120 square foot building at 4110 O'Banion Road that is currently occupied with a church that also uses the building for Adult Day Care during the week. The building will continue to be used for this purpose even though some of the parking spaces will be used for display of automobiles. The church and day care parking is delineated on the southeast side nearest the entrance to the building.
2. There are fifty-three (53) parking spaces provided onsite. The parking ratio as specified in Section 10-200 of the City of Garland Comprehensive Zoning Ordinance requires a minimum of one (1) parking space for every 300 square feet of office space, 2 parking spaces per bay and 1 space for every 500 square feet of service area for this use. Since the existing building used for office space is approximately 3,853 square feet, thirteen (13) parking spaces are required. The required number of parking spaces for the church is thirteen (13) which leaves twenty-seven (27) parking spaces for automobile display.
3. The subject property has been used for Automobile Sales, Used for which there are two Specific Use Permits, S3 and S95-4. Specific Use Permit (S3) was granted for a portion of the subject property, 4106 O'Banion Road, and was granted without an expiration date and it is not tied to any specific entity. The Specific Use Permit will allow Auto Sales, Used on the subject property as long as the property remains within a zoning district where the use is permitted either by right or with a Specific Use Permit. The remaining portion of the subject property, 4110 O'Banion Road, is under Specific Use Permit (S95-4) for Automobile Sales, Used and was an expansion of the adjacent property. S95-4 for Automobile Sales, Used expires in June 2015. Automobile Sales, Used would be permitted on this portion of the property as long as all conditions of the Specific Use Permit are maintained and the time period has not lapsed.
4. Since the applicant is not expanding the building or paving area there is no requirement for additional landscaping under the Screening and Landscape Standards. There are shrubs along the entire length of the parking facing O'Banion Road.
5. The applicant is requesting approval of the Specific Use Permit for a twenty (20) year time period.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Neighborhood Centers for the subject site. Neighborhood centers provide a mix of retail, services and community gathering places. This center should be appropriately scaled to adjacent residential areas. This type of center is predominantly, but not exclusively, non-residential. Neighborhood Centers are served by local roads and transit routes. The continued use of the site for Automobile Sales, Used would utilize a currently vacant building and reenergize the property for potential redevelopment in the future.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The property in the immediate surrounding area is predominantly zoned for commercial uses and many of the adjacent properties are either vacant or undeveloped. The utilization of the subject property for Automobile Sales, Used is generally compatible with the surrounding zoning and land uses. The area on the east side of O'Banion Road is a more commercial area while the west side of O'Banion is a mixture of personal service and residential uses. The residences across from the subject property do not face O'Banion Road and are internally oriented; therefore, the proposed use would have limited impact on those properties.

Prepared By:

Chasidy Allen, AICP
Principal Planner

Date: May 20, 2015

Reviewed By:

Will Guerin, AICP
Director of Planning

Date: May 21, 2015

Reviewed By:

Bryan Bradford
City Manager

Date: May 26, 2015



0 100 200 Feet
 1 inch = 200 feet

ZONING Z 15-15

INDICATES AREA OF REQUEST

SPECIFIC USE PERMIT CONDITIONS

ZONING FILE 15-15

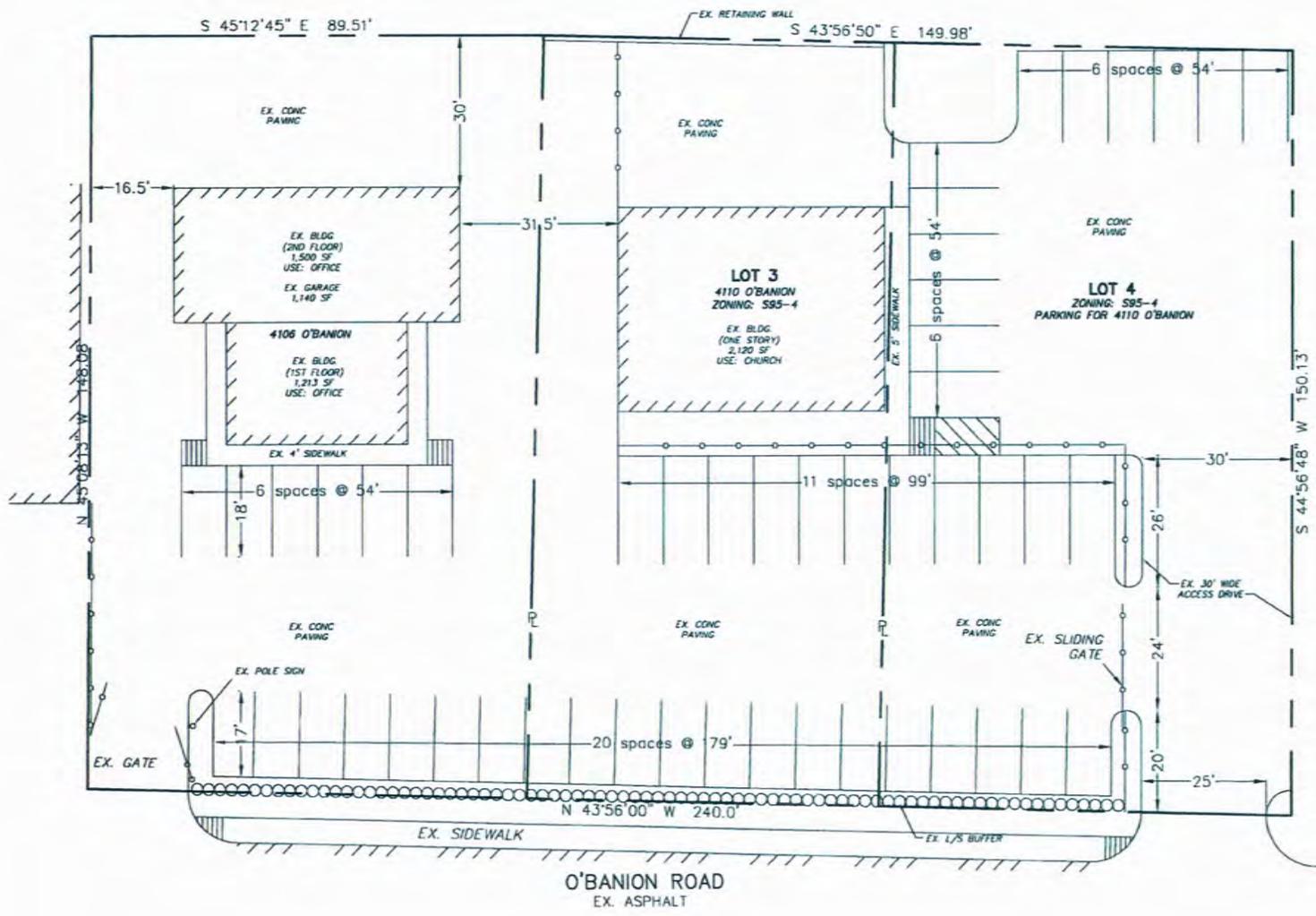
4106 and 4110 O'Banion Road

- I. **Statement of Purpose:** The purpose of this Specific Use Permit is to permit the use of Automobile Sales, Used.
- II. **Statement of Effect:** The Specific Use Permit shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the Commercial-1 (C-1) District set forth in Section 26 and Section 33 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Specific Regulations:**
 - A. Time Period: The Specific Use Permit shall be in effect for a period of twenty (20) years.
 - B. Site Plan: Development shall be in general conformance with the approved site plan labeled Exhibit C.



LEGEND
 - - - - - PROPERTY LINE
 - - - - - PIPE RAIL FENCE

EXHIBIT C



SUP EXHIBIT	
4110 O'BANION	
<small>LOTS 3 & 4, EX. A WIND COASTAL City of Garland, Dallas County, Texas</small>	
<small>OWNER MONTGOMERY HOLDING CORP 3328 E. DICKERMAN BLVD., GARLAND, TEXAS 75041</small>	
<small>DESIGNED BY MONK CONSULTING ENGINEERS 1320 E. State Street, Garland, Texas 75040 872 272-1763 Fax 872 272-8161</small>	
<small>REC NO: F-2587 ©2015 by Monk Consulting Engineers, Inc., All Rights Reserved.</small>	
<small>Date:</small>	<small>Sheet:</small>
4/24/15	1" = 10'

REPORT & MINUTES

P.C. Meeting, May 11, 2015 (9 Members Present)

Consideration of the application of Montgomery Motors, requesting approval of a Specific Use Permit for Automobile Sales, Used on property zoned Commercial-1 (C-1) District. This property is located at 4106 and 4110 O'Banion Road. (District 4) (File Z 15-15)

Representing the applicant Gerald Monk, 1200 W. State St., Garland, TX was available for questions. There were no questions of this speaker.

The applicant Scott Montgomery, 15115 Springwood Dr, Frisco, 75035 gave specifics where the overflow parking would be and stated there would be no automotive repair performed at this site.

Motion was made by Commissioner O'Hara seconded by Commissioner Dalton to approve the request per staff recommendation. **Motion carried:** 8 Ayes, 0 Nays. Commissioner Luckie recused himself from this case.



O = IN FAVOR
X = AGAINST

0 100 200 Feet
1 inch = 200 feet

ZONING Z 15-15

 INDICATES AREA OF REQUEST



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 27, 2015

HEARING DATE/TIME: Plan Commission: May 11, 2015 – 7:00 PM

APPLICANT: Montgomery Motors

File Z 15-15

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, May 11, 2015, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Montgomery Motors**, requesting approval of a Specific Use Permit for Automobile Sales, Used on property zoned Commercial-1 (C-1) District. The property is shown on the enclosed sketch and is described as follows:

Being Lots 3 and 4, Block A, Wynne Commercial Addition and a portion of Lot 5, Block A, Wynne Commercial No. 2 Addition, as recorded in Volume 71246, Page 2350 and Volume 73200, Page 911 respectively, of the D.R.D.C.T., City of Garland, Dallas County, Texas, totaling approximately 0.821 acres. The property is located at 4110 and 4106 O'Banion Road, southeast of the intersection of West Centerville Road and O'Banion Road. (District 4)

Note: The applicant requests the renewal of a Specific Use Permit to continue to use the property for Automobile Sales, Used.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address

SONJA F. JONES

Printed Name

334 ARBORVIEW DRIVE

Address

Garland, TX

City, State

75034

Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Sonja F. Jones

Signature

Owner

Title

Date: 5-9-15



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 27, 2015

HEARING DATE/TIME: Plan Commission: May 11, 2015 – 7:00 PM

APPLICANT: Montgomery Motors

File Z 15-15

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, May 11, 2015, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Montgomery Motors**, requesting approval of a Specific Use Permit for Automobile Sales, Used on property zoned Commercial-1 (C-1) District. The property is shown on the enclosed sketch and is described as follows:

Being Lots 3 and 4, Block A, Wynne Commercial Addition and a portion of Lot 5, Block A, Wynne Commercial No. 2 Addition, as recorded in Volume 71246, Page 2350 and Volume 73200, Page 911 respectively, of the D.R.D.C.T., City of Garland, Dallas County, Texas, totaling approximately 0.821 acres. The property is located at 4110 and 4106 O'Banion Road, southeast of the intersection of West Centerville Road and O'Banion Road. (District 4)

Note: The applicant requests the renewal of a Specific Use Permit to continue to use the property for Automobile Sales, Used.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

This is heavy Residential area, Automobile business
isn't suitable.

(Please complete the following information)

Your Property Address

324 Arborview + 435 Arborview, Garland, TX 75043

Printed Name

Jinglan Zhang

Address

City, State

Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Jinglan Zhang

Signature

manager

Title

Date: 5/8/2015



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 27, 2015

HEARING DATE/TIME: Plan Commission: May 11, 2015 – 7:00 PM

APPLICANT: Montgomery Motors

File Z 15-15

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, May 11, 2015, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Montgomery Motors**, requesting approval of a Specific Use Permit for Automobile Sales, Used on property zoned Commercial-1 (C-1) District. The property is shown on the enclosed sketch and is described as follows:

Being Lots 3 and 4, Block A, Wynne Commercial Addition and a portion of Lot 5, Block A, Wynne Commercial No. 2 Addition, as recorded in Volume 71246, Page 2350 and Volume 73200, Page 911 respectively, of the D.R.D.C.T., City of Garland, Dallas County, Texas, totaling approximately 0.821 acres. The property is located at 4110 and 4106 O'Banion Road, southeast of the intersection of West Centerville Road and O'Banion Road. (District 4)

Note: The applicant requests the renewal of a Specific Use Permit to continue to use the property for Automobile Sales, Used.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address
New Liberty B.C. 333 WEST CENTERVILLE
Printed Name

Garland, TX 75041
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

[Signature] PASTOR
Signature Title

Date: 5-7-15

outside of notification area



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 27, 2015

HEARING DATE/TIME: Plan Commission: May 11, 2015 – 7:00 PM

APPLICANT: Montgomery Motors

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Being Lots 3 and 4, Block A, Wynne Commercial Addition and a portion of Lot 5, Block A, Wynne Commercial No. 2 Addition, as recorded in Volume 71246, Page 2350 and Volume 73200, Page 911 respectively, of the D.R.D.C.T., City of Garland, Dallas County, Texas, totaling approximately 0.821 acres. The property is located at 4110 and 4106 O'Banion Road, southeast of the intersection of West Centerville Road and O'Banion Road. (District 4)

Note: The applicant requests the renewal of a Specific Use Permit to continue to use the property for Automobile Sales, Used.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002** or by fax to **972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address: ROBERT MONTGOMERY / RON MONTGOMERY MOTORS
Printed Name: ROBERT MONTGOMERY / RON MONTGOMERY MOTORS
Address: 4110 O'BANION & 4106 O'BANION - GARLAND, TX 75043
City, State: GARLAND, TX
Zip: 75043

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature: [Handwritten Signature] Title: Vice President
Date: 5-5-15



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 27, 2015

HEARING DATE/TIME: Plan Commission: May 11, 2015 – 7:00 PM

APPLICANT: Montgomery Motors

File Z 15-15

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, May 11, 2015, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Montgomery Motors**, requesting approval of a Specific Use Permit for Automobile Sales, Used on property zoned Commercial-1 (C-1) District. The property is shown on the enclosed sketch and is described as follows:

Being Lots 3 and 4, Block A, Wynne Commercial Addition and a portion of Lot 5, Block A, Wynne Commercial No. 2 Addition, as recorded in Volume 71246, Page 2350 and Volume 73200, Page 911 respectively, of the D.R.D.C.T., City of Garland, Dallas County, Texas, totaling approximately 0.821 acres. The property is located at 4110 and 4106 O'Banion Road, southeast of the intersection of West Centerville Road and O'Banion Road. (District 4)

Note: The applicant requests the renewal of a Specific Use Permit to continue to use the property for Automobile Sales, Used.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002** or by fax to **972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

As a credit union we may benefit by being able to possibly assist with a car buyers financing needs.

(Please complete the following information)

Your Property Address

Resource One Credit Union

Printed Name

302 W Centerville Road

Address

Garland TX

City, State

75041

Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Paul Haynes

Signature

Facilities Manager

Title

Date: *5/13/15*



Planning Report

AT&T Mobility

3465 West Walnut Street

REQUEST

Approval of 1) a Specific Use Permit for an Antenna, Commercial Type 2 on property zoned Shopping Center (SC) District and 2) a variance to Section 10-306.4(B) of the Comprehensive Zoning Ordinance regarding distance of Antenna, Commercial Type 2 from residential districts.

OWNER

American Tower Corporation – David Prejean

PLAN COMMISSION RECOMMENDATION

On May 11, 2015, the Plan Commission, by a vote of nine (9) to zero (0), recommended approval of a 1) Specific Use Permit for an Antenna, Commercial Type 2 on property zoned Shopping Center (SC) District and 2) a variance to Section 10-306.4(B) of the Comprehensive Zoning Ordinance regarding distance of Antenna, Commercial Type 2 from residential districts per Staff recommendation including requiring the modification of the existing chain link fence to screen the ground equipment.

STAFF RECOMMENDATION

Approval of 1) a Specific Use Permit for an Antenna, Commercial Type 2 on property zoned Shopping Center (SC) District and 2) a variance to Section 10-306.4(B) of the Comprehensive Zoning Ordinance regarding distance of Antenna, Commercial Type 2 from residential districts. The existing tower provides for co-location and continues improved service within the area. The location of the tower still provides for adequate distance from nearby residential districts and is further separated by a street.

Staff recommends that the chain link fence be replaced with a masonry screening wall or an approved material be added to the existing chain link fence to obscure the visibility of the ground equipment. The applicant concurs and will modify the existing chain link fence accordingly.

BACKGROUND

In 1993, City Council approved a Specific Use Permit (S93-16) for a 75-foot tall cell tower for a period of twenty (20) years. The applicant requests renewal of the Specific Use Permit for Antenna, Commercial Type 2 which expired in 2013 to allow for the addition of antennas to the existing tower. The City sends notices to

the property owner of record regarding expired Specific Use Permits. Prior to issuance of any permits on property with an expired Specific Use Permit, the applicant must gain approval of a new Specific Use Permit through the public hearing process.

SITE DATA

The parent tract of the subject property contains approximately 10.733 acres in total area and is developed with multiple buildings. The property has approximately 670 feet of frontage along West Walnut Street, approximately 702 feet of frontage along Jupiter Road, and approximately 743 feet of frontage along Lariat Lane. The larger property has direct access to all aforementioned roadways. The lease area for the cell tower is approximately 0.046 acres and is located on the north end of the parent tract, closest to Lariat Lane.

USE OF PROPERTY UNDER CURRENT ZONING

Development of this property is restricted to only the uses permitted in the Shopping Center (SC) District which permits a broad range of non-residential land uses providing convenient retail and personal service activities by grouping compatible uses in a single center. The purpose of the Shopping Center (SC) District is to provide a neighborhood or community service area. Antenna, Commercial Type 2 requires approval of a Specific Use Permit in the Shopping Center (SC) District.

CONSIDERATIONS

1. The applicant requests renewal of a Specific Use Permit that expired in 2013 to allow the continued operation of a freestanding cell tower of approximately 75 feet in height. The tower is a monopole with external array antennas. There appear to be three (3) sets of existing antennas on the tower. There are other carriers co-located on the tower.
2. Section 10-306.4(B) of the Comprehensive Zoning Ordinance states that freestanding wireless telecommunication antennas must be located a minimum distance of three (3) times the height of the tower from a single-family residential district boundary line. Based on this ratio, a 75-foot tall tower must be placed a minimum of 225 lineal feet from a single-family zoning district boundary line. The existing tower is approximately 106 feet from the nearest single-family zoning district boundary line, which is north of the subject property across Lariat Lane. It should be noted that the existing cell tower was constructed prior to these provisions being added to the Zoning Ordinance in 1996.
3. Section 10-306.4(B) of the Comprehensive Zoning Ordinance states that equipment and buildings, associated with an Antenna, Commercial Type 2, must be screened by a chain link fence or wrought iron fence with vegetation, or a masonry wall. The associated ground equipment and tower are enclosed with an existing chain link fence. There is a masonry wall along Lariat Lane that further screens the site from the street and nearby residences.

4. Per Plan Commission recommendation, the applicant will add an approved slating material to the existing chain link fence to obscure the visibility of the ground equipment.
5. The applicant contends that the cell tower is still needed to service the area and has operated without incident since 1993. The tower could not be modified to a stealth pole with internal antennas without losing some of the carriers and would likely result in the need for an additional tower nearby.
6. The applicant is requesting that the Specific Use Permit be granted for a period of twenty (20) years.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Neighborhood Centers for the subject property. Neighborhood centers provide a mix of retail, services and community gathering places appropriately scaled to adjacent residential areas. This type of center is predominately, but not exclusively non-residential. Neighborhood centers are served by local roads and transit routes. The existing cell tower provides a utilitarian use for the surrounding residential area and existing commercial properties.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the north across Lariat Lane and to the east of the subject property are zoned Single Family (SF/7/F/3) District and are developed with single-family residences. Property to the west across North Jupiter Road is zoned within Planned Development (PD) District 89-30 for Shopping Center Uses and is developed with multiple buildings for a variety of retail, personal service and restaurant uses.

Cell towers provide a valuable communication service to nearby commercial and residential developments. Attention should be paid to the placement and screening of the tower on the site and the impact on the surrounding properties. The existing site is adequate to meet the needs of the carriers while not impacting the ability for the site to continue to function as a retail site or transition over time through redevelopment.

Prepared By:

Chasidy Allen, AICP
Principal Planner

Date: May 20, 2015

Reviewed By:

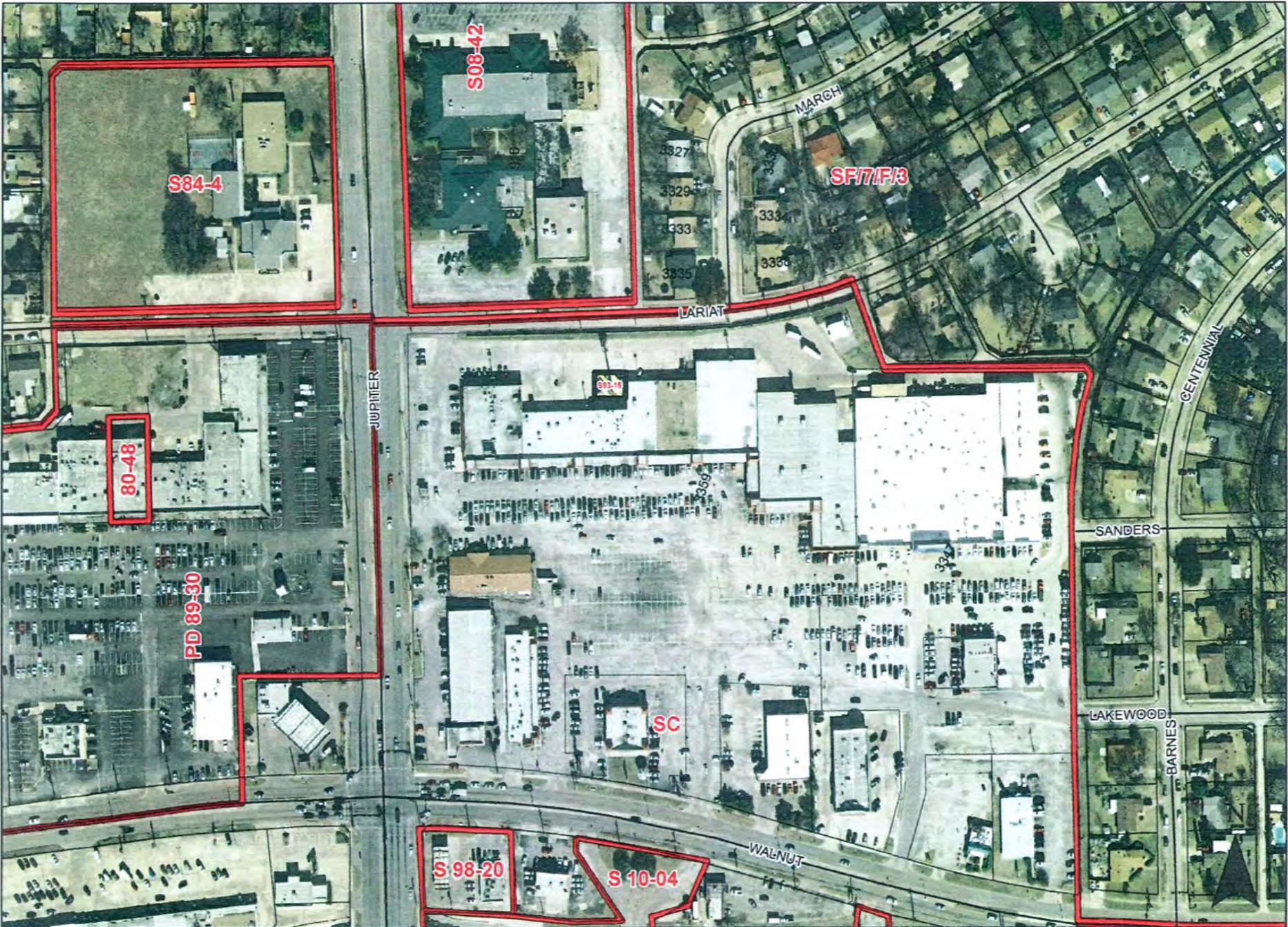
Will Guerin, AICP
Director of Planning

Date: May 21, 2015

Reviewed By:

Bryan Bradford
City Manager

Date: May 26, 2015



0 100 200 Feet
 1 inch = 200 feet

ZONING Z 15-16

 INDICATES AREA OF REQUEST

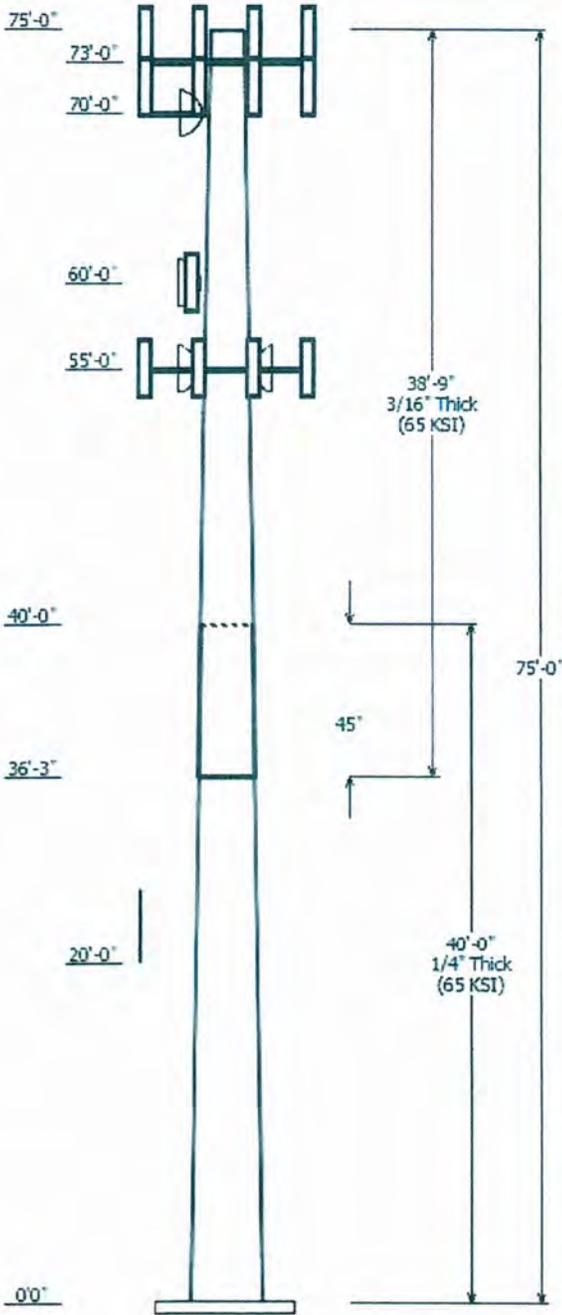
SPECIFIC USE PERMIT CONDITIONS

ZONING FILE 15-16

3465 West Walnut Street

- I. **Statement of Purpose:** The purpose of this Specific Use Permit is to allow Antenna, Commercial Type 2 subject to conditions.
- II. **Statement of Effect:** This permit shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the SC (Shopping Center) District set forth in Section 24 and Section 33 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Specific Regulations:**
 - A. Time Period: The Specific Use Permit shall be in effect for a 20 year time period.
 - B. Site Plan: Development shall be in general conformance with the approved site plan identified as Exhibit C.
 - C. Monopole Height: The height of the monopole shall not exceed 75 feet in height.
 - D. Security Fencing: The site shall be entirely enclosed by a security fence.

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Job Information			
Pole :	309386	Code :	ANSI/TIA-222 Rev G
Description :	75 ft. Valmont Monopole		
Client :	Sprint Nextel	Struct Class :	II
Location :	Jupiter Walnut (co-locate), TX		
Shape :	12 Sides	Exposure :	B
Height :	75.00 (ft)	Topo :	1
Base Elev (ft):	0.00		
Taper:	0.16995(in/ft)		

Sections Properties							
Shaft Section	Length (ft)	Diameter (in)		Thick Joint (in)	Overlap Length (in)	Taper (in/ft)	Steel Grade (ksi)
		Top	Bottom				
1	40.000	20.20	27.00	0.250	0.000	0.169950	65
2	38.750	14.63	21.21	0.188 Slip Joint	45.000	0.169950	65

Discrete Appurtenance			
Attach Elev (ft)	Force Elev (ft)	Qty	Description
73.000	68.000	3	Ericsson RRUS-31
73.000	75.000	3	Andrew DBXNH-6565B-R2M
73.000	75.000	3	Andrew SBNH-1D65B
73.000	75.000	3	Ericsson RRUS-12 B2
73.000	75.000	3	Ericsson RRUS A2 Module
73.000	75.000	12	Kathrein RCU
73.000	75.000	1	Raycap DC6-48-60-18
73.000	75.000	3	Ericsson RRH
73.000	75.000	3	Andrew DBXNH-6565B-R2M
73.000	75.000	6	Ericsson KRY 112 75/1
73.000	75.000	6	Ericsson KRY 112 76/1
73.000	68.000	1	RFS APXV9ERR18-C
73.000	68.000	2	RFS APXV9ERR18-C
73.000	68.000	9	RFS ACU-A20-N
73.000	73.000	1	Flat Platform w/ Handrails
73.000	68.000	2	Jaybeam PCSA065-19-2
73.000	68.000	3	Ericsson RRUS-11 800 MHz
73.000	68.000	3	Ericsson RRUS A2 Module
73.000	68.000	3	Ericsson 800MHz SMR Filter
73.000	68.000	3	Argus LLPX310R-V4
73.000	68.000	3	Samsung 2.5GHz RRU
73.000	68.000	4	Comsat PCSA090-19-2
70.000	70.000	1	Side Arms
70.000	70.000	1	DragonWave Horizon Compact
70.000	70.000	1	Andrew VHLP1-23
60.000	60.000	1	Flush Mount
60.000	60.000	1	Radio/ODU
60.000	60.000	1	3' HP Dish
55.000	55.000	6	RCU
55.000	55.000	2	Ericsson MLTN28/2X 285T/128X
55.000	55.000	1	Ericsson ANT2 0.3 HP 28
55.000	55.000	1	Ericsson ANT2 0.6 HP 28
55.000	55.000	6	Andrew HBX-6516DS-VTM
55.000	55.000	3	T-Arms
20.000	20.500	1	Security Lights

Linear Appurtenance			
Elev (ft)		Description	Exposed To Wind
From	To		
0.000	20.000	1 1/4" Conduit	Yes
0.000	55.000	3/8" Coax	Yes
0.000	55.000	3/8" Coax	No
0.000	55.000	7/8" Coax	Yes

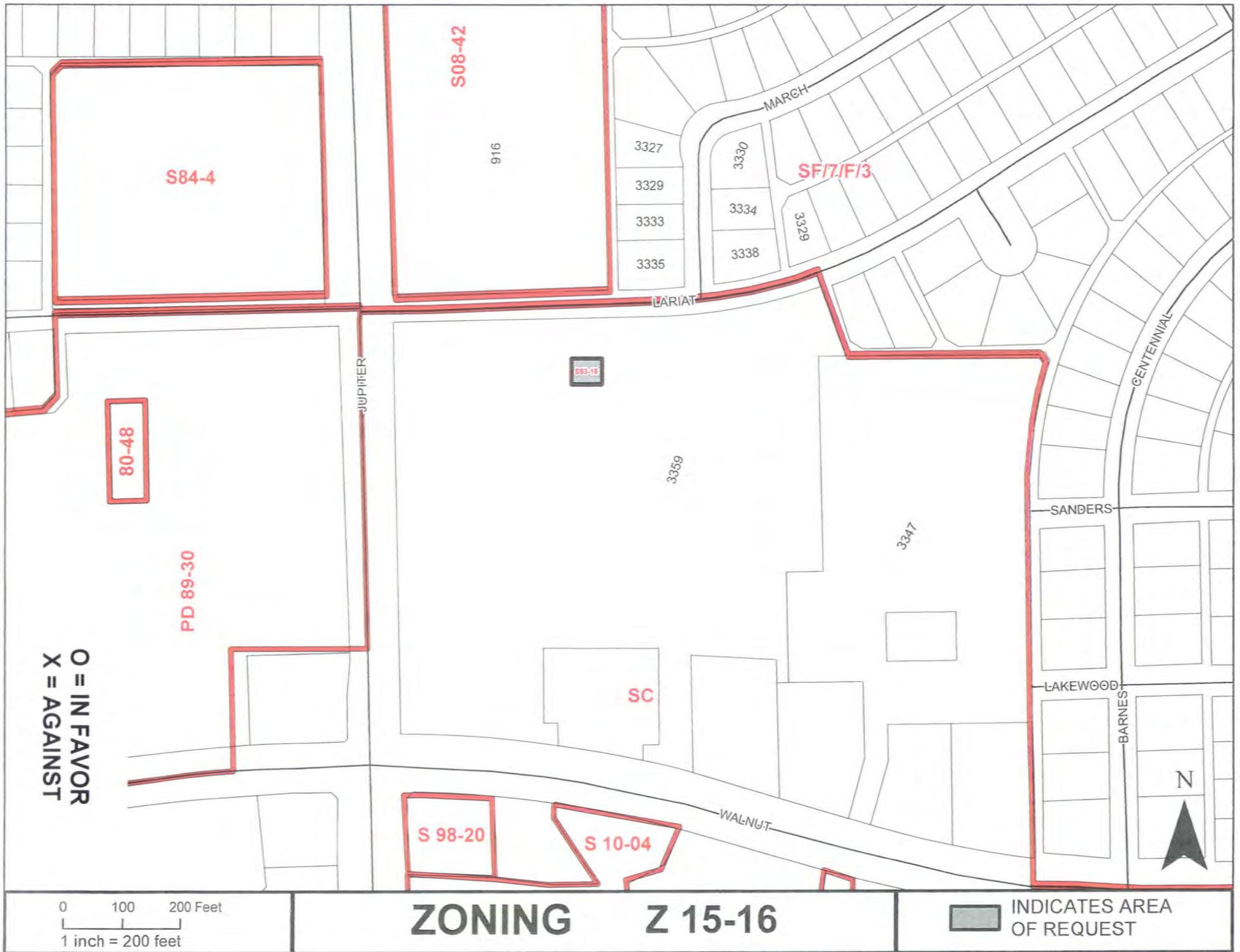
REPORT & MINUTES

P.C. Meeting, May 11, 2015 (9 Members Present)

Consideration of the application of AT&T Mobility, requesting approval of 1) a Specific Use Permit for an Antenna, Commercial Type 2 on property zoned Shopping Center (SC) District and 2) a variance to Section 10-306.4(B) of the Comprehensive Zoning Ordinance regarding distance of Antenna, Commercial Type 2 from residential districts. This property is located at 3465 West Walnut Street. (District 6) (File Z 15-16)

Representing the applicant, Jeremy Baldwin, 1870 Crown Drive, Dallas, TX 75234 gave a brief overview and provided further explanation regarding screening.

Motion was made by Commissioner Vera, seconded by Commissioner Fisher to **approve** the request per staff recommendation. **Motion carried:** 9 Ayes, 0 Nays



There were no responses received for this request.



File No. 15-18 /District 6

Agenda Item:

Meeting: City Council

Date: June 2, 2015

Planning Report

Metro Lumber Wholesale Co. d/b/a Dallas Cedar Company

4233 Forest Lane

REQUEST

Approval of a Specific Use Permit for Building Materials on property zoned Commercial-2 (C-2) District.

OWNER

Donny McSwain

PLAN COMMISSION RECOMMENDATION

On May 11, 2015 the Plan Commission, by a vote of nine (9) to zero (0), recommended approval of a Specific Use Permit for Building Materials on property zoned Commercial-2 (C-2) District.

STAFF RECOMMENDATION

Approval of a Specific Use Permit for Building Materials for a period of 25 years. The proposed operation will not represent a nuisance to the adjacent properties given that a large portion of the building materials sold will be screened from adjacent properties and Forest Lane. The utilization of the subject property for the Building Materials use is appropriate and consistent with the surrounding land use pattern.

BACKGROUND

The applicant requests a Specific Use Permit for Building Materials to utilize an existing 14,760 square foot, two story masonry building as Dallas Cedar Company. Building Material Uses are only allowed with the approval of a Specific Use Permit in the Commercial-2 (C-2) District. The Building Materials use includes the indoor and outdoor storage and the retailing and wholesaling of building materials, such as lumber, bricks, paint, roofing, electrical, plumbing, and concrete, doors, windows, siding and other such materials used in the building construction industry. The applicant is also requesting a variance to the Screening and Landscape Standards to allow a 10-foot wood fence to screen the outdoor storage area.

SITE DATA

The subject property contains 2.6 acres with approximately 230 feet of frontage along Forest Lane and ingress and egress will be from Forest Lane. 1.76 acres of the site will be leased for the operation of the Building Materials use.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Commercial 2 (C-2) District which allows a broad range of commercial sales, service and repair activities, many of which are not appropriate in a retail or office environment. The Building Materials use is only allowed with the approval of a Specific Use Permit.

CONSIDERATIONS

1. The subject property is developed with two separate buildings. The northern building is an approximately 18,285 square foot metal structure utilized as the storage for the adjacent Lonestar Forklift Incorporated site. The property owner of the subject site and the adjacent site intends to lease the applicant 1.76 acres of the platted 2.6 acre site for the building materials business. Access to the storage building is through an existing gate on the unleased portion of the site.
2. The southern building is an approximately 14,760 square foot two-story masonry building used as the sales office for the previous Vehicle Sales, Leasing, and Repair use. The building will be used for office and indoor storage of the building materials. The indoor storage will be located in the rear half of the ground level. The occupants and customers will utilize a total of five roll-up doors to access the indoor storage area. The applicant has indicated that the site will contain outdoor storage located throughout the site but no outdoor processing will take place at this location.
3. The Plan Commission approved a variance to the Citywide Screening and Landscaping Standards to allow the applicant to construct a 10-foot tall wood fence to serve as the required screening method of the outdoor storage areas in lieu of the required masonry wall, earthen berm, live screening or combination. The majority of the outside storage will be on the western portion of the site, placed along the western property line and the western wall of the building. None of the outdoor storage area will be beyond the front façade of the building which is set back 70 feet from Forest Lane.
4. An existing 6-foot tall wrought iron fence is constructed along Forest Lane. The applicant is not proposing any alteration to the wrought iron fence; however, the fence ordinance prohibits the construction of fences greater than 3.5 feet within the required front yard. The fence is designated as non-conforming and is permitted to remain so long as it remains otherwise lawful.
5. Section 10-200 of the Comprehensive Zoning Ordinance stipulates a minimum parking ratio of 1 parking space for every 1,000 square feet of gross floor area for the Building Materials use. The minimum parking requirement for a 14,760 square foot building is 15 parking spaces; the site will provide 34 parking spaces. The proposed site plan indicates parking will be located behind the required outdoor screening fence. The screening fence will

contain openings for egress and ingress and not cross fire or access lanes for the site.

6. The applicant is not proposing any improvements on the subject property. Notwithstanding the refacing of the existing signage to identify the new occupants, the signage will remain as is.
7. The applicant is requesting a Specific Use Permit for a period of 25 years.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Comprehensive Plan recommends Business Centers for the subject property. Business Centers represent clusters of business offices and/or clean industry whose development and operations result in minimal negative (sound, air, traffic, outdoor lighting, storage, etc.) effects to adjacent development types. The proposed Building Materials use is consistent with the future land use recommendation as any building materials will be housed within the structure or behind the required screening. Additionally, there will be no outdoor processing of materials which may have an adverse impact on surrounding properties.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the south across Forest Lane and along Forest Lane to the east and west are zoned Commercial 2 (C-2) District. The adjacent properties are developed with a mix of uses including Automobile Sales (Used), Vehicle Sales (fork-lift sales) and mini-storage facilities. The retail nature of the Building Materials use is comparable to that found on adjacent properties. Each of the adjacent retail (sales) uses is similar in character in that they provide an open-air environment for customers to select items for purchase. The subject property is a suitable location for the proposed Building Materials use provided the outdoor storage area is sufficiently screened and outdoor processing is limited.

Prepared By:

Isaac Williams
Development Planner

Date: May 22, 2015

Reviewed By:

Will Guerin, AICP
Director of Planning

Date: May 22, 2015

Reviewed By:

Bryan Bradford
City Manager

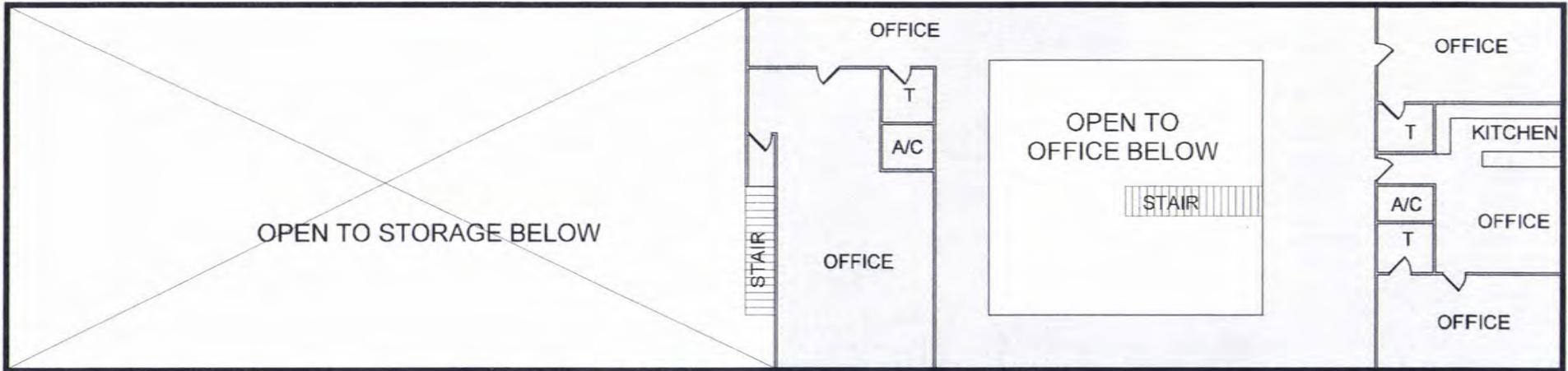
Date: June 1, 2015

SPECIFIC USE PERMIT CONDITIONS

ZONING FILE 15-18

4233 Forest Lane

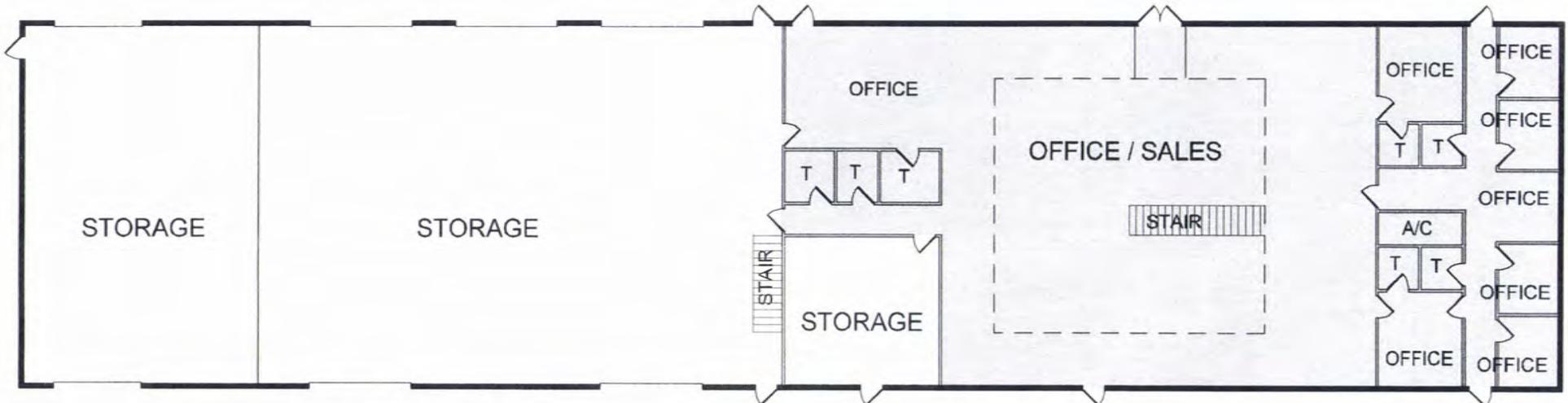
- I. **Statement of Purpose:** The purpose of this Specific Use Permit is to permit the use of Building Materials.
- II. **Statement of Effect:** The Specific Use Permit shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the Commercial-2 (C-2) District set forth in Section 26 and Section 33 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Specific Regulations:**
 - A. Site Plan: Development shall be in general conformance with the site plan labeled Exhibit C.
 - B. Time Period: The Specific Use Permit shall be in effect for a period of 25 years.
 - C. Outdoor Storage Area: All outdoor storage areas must be screened by a 10-foot tall wood fence. There will be no processing of building materials within the outdoor storage area.



03 **SECOND FLOOR PLAN**
SCALE: 1" = 20'



USE KEY
AREA DEDICATED TO OFFICE USE



02 **FIRST FLOOR PLAN**
SCALE: 1" = 20'

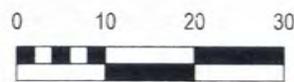
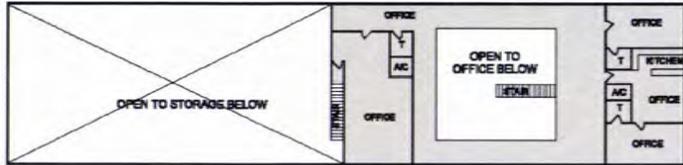


EXHIBIT C

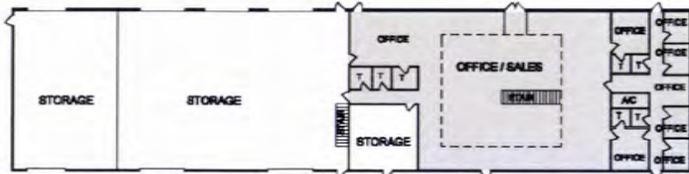


03 SECOND FLOOR PLAN
SCALE: 1" = 32'



USE KEY

AREA DEDICATED TO OFFICE USE

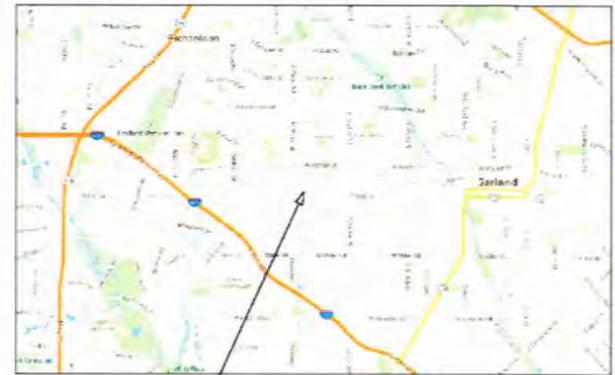


02 FIRST FLOOR PLAN
SCALE: 1" = 32'

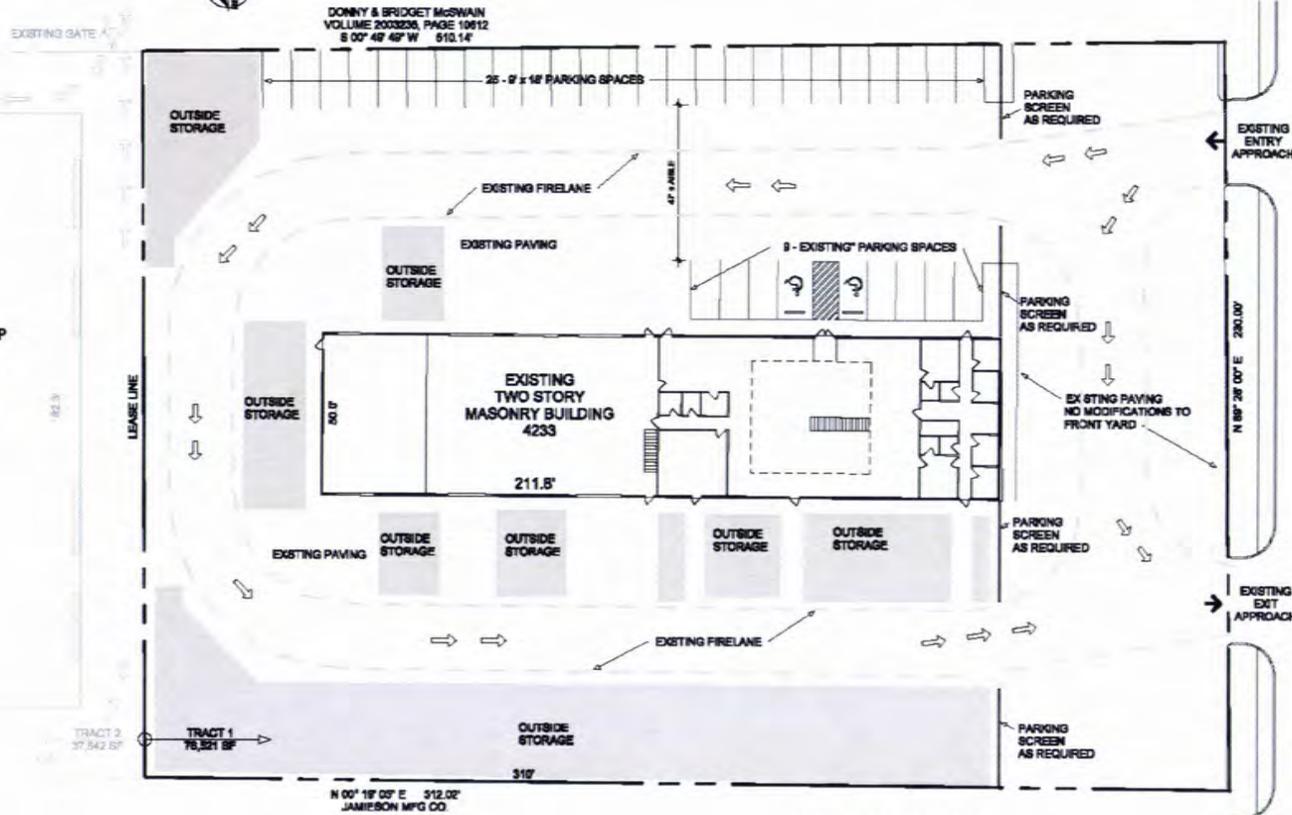


CODE INFORMATION

ZONING	CITY OF GARLAND
OBSERVATION:	C2
USE:	COMMERCIAL
PARKING OFFICE STORAGE:	5,160 SF 600 SF
	34 SPACES REQUIRED (2 ACCESSIBLE PER TAG) 3 SPACES REQUIRED @ 1,100 SF 34 SPACES PROVIDED 2 ACCESSIBLE SPACES PROVIDED
	82 % 38 %
BUILDING	2008 INTERNATIONAL BUILDING CODE
OCCUPANCY CLASS:	COMMERCIAL OFFICE WITH STORAGE
CONSTRUCTION TYPE:	TYPE IV-B
ALLOWABLE HEIGHT:	2 STORY
BUILDING HEIGHT:	2 STORY
ALLOWABLE AREA:	16,790 SF SUBS IF WITH AREA INCREASED
USE AREA:	4,890 SF 1 ST FLOOR OFFICE 25 OCCUPANTS 4,890 SF 1 ST FLOOR STORAGE 18 OCCUPANTS 4,170 SF 2 ND FLOOR OFFICE 45 OCCUPANTS 14,750 SF TOTAL FLOOR AREA 116 OCCUPANTS
BUILDING AREA:	16,816 SF FIRST FLOOR (DOWNING) 4,170 SF SECOND FLOOR
GROSS LOAD:	110 PERSONS
EXIT:	2 REQUIRED AT 82 INCHES EACH 3 PROVIDED AT 384 INCHES
FIRE	2008 INTERNATIONAL FIRE CODE
MECHANICAL	2008 INTERNATIONAL MECHANICAL CODE
ELECTRICAL	2011 NATIONAL ELECTRIC CODE
PLUMBING	2008 INTERNATIONAL PLUMBING CODE
ACCESSIBILITY	2012 TEXAS ACCESSIBILITY STANDARD (TAG) & ADA
ENERGY	2008 INTERNATIONAL ENERGY CONSERVATION CODE



00 LOCATION
NO SCALE



01 SITE PLAN
SCALE: 1" = 32'



SITE INFORMATION

STREET ADDRESS
4205 FOREST LANE, GARLAND, TEXAS 75042

LEGAL DESCRIPTION
LOT 1, BLOCK 1, BULLMAN FOREST No. 1, CITY OF GARLAND, DALLAS COUNTY, TEXAS
VOLUME 7194, PAGE 28 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS

AREAS
FRONT (TRACT 1) 76,321 SF C2 ZONING WITH SUP FOR BUILDING MATERIALS STORAGE OUTSIDE
REAR (TRACT 2) 37,542 SF C2 ZONING
LOT 1 14,083 SF C2 ZONING

- NOTES:**
- I. THE SITE WILL CONTAIN NO OUTDOOR PROCESSING
 - II. THE EXISTING USE OF THE NORTH BUILDING IS STORAGE
 - III. REFER TO CODE INFO ABOVE FOR REQUIRED PARKING FOR PROPOSED USE
 - IV. THE EXPECTED PERCENTAGE OF THE BUILDING FOR SALES IS 82%

FOREST LANE R.O.W.

EXHIBIT C

Z 15-18

Approval of a Specific Use Permit for a
Building Materials Use on property zoned Commercial-2 (C-2) District
4233 Forest Lane



Looking north at from subject site from Forest Lane. Commercial-2 (C-2) District.



Looking south from subject site at adjacent buildings. Commercial-2 (C-2) District.



Facing east from subject site along Forest lane. Commercial-2 (C-2) District.



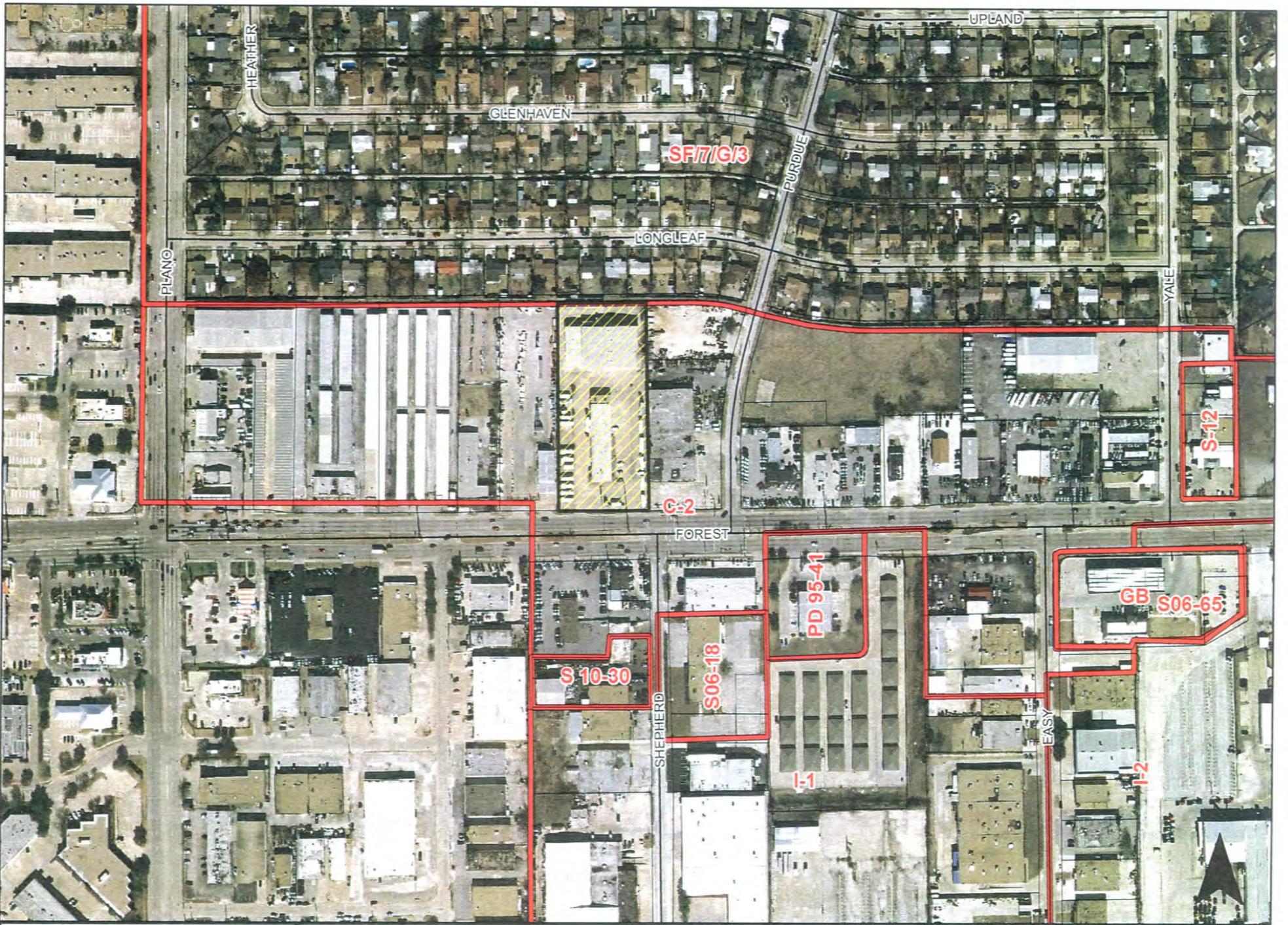
Facing west from subject site along Forest Lane. Commercial-2 (C-2) District.



© 2010 Peter A. Kirsch-Korff



Metro Lumber Wholesale Co. Inc. DBA Dallas Cedar Company will use the property located at 4233 Forest Lane Garland, TX 75042 to store and sell building materials. The property is current a C2 zone so to be allowed use of property for building materials an SUP will be needed. These materials include lumber, concrete, hardware, pipe, fencing, etc and will all be stored in neat rows/on racks when possible. The items will be sold to both retail and wholesale customers. There will be no production/sawing material that will take place on the property and will solely be used for retail and wholesale sales.



0 150 300 Feet
 1 inch = 300 feet

ZONING Z 15-18

INDICATES AREA OF REQUEST

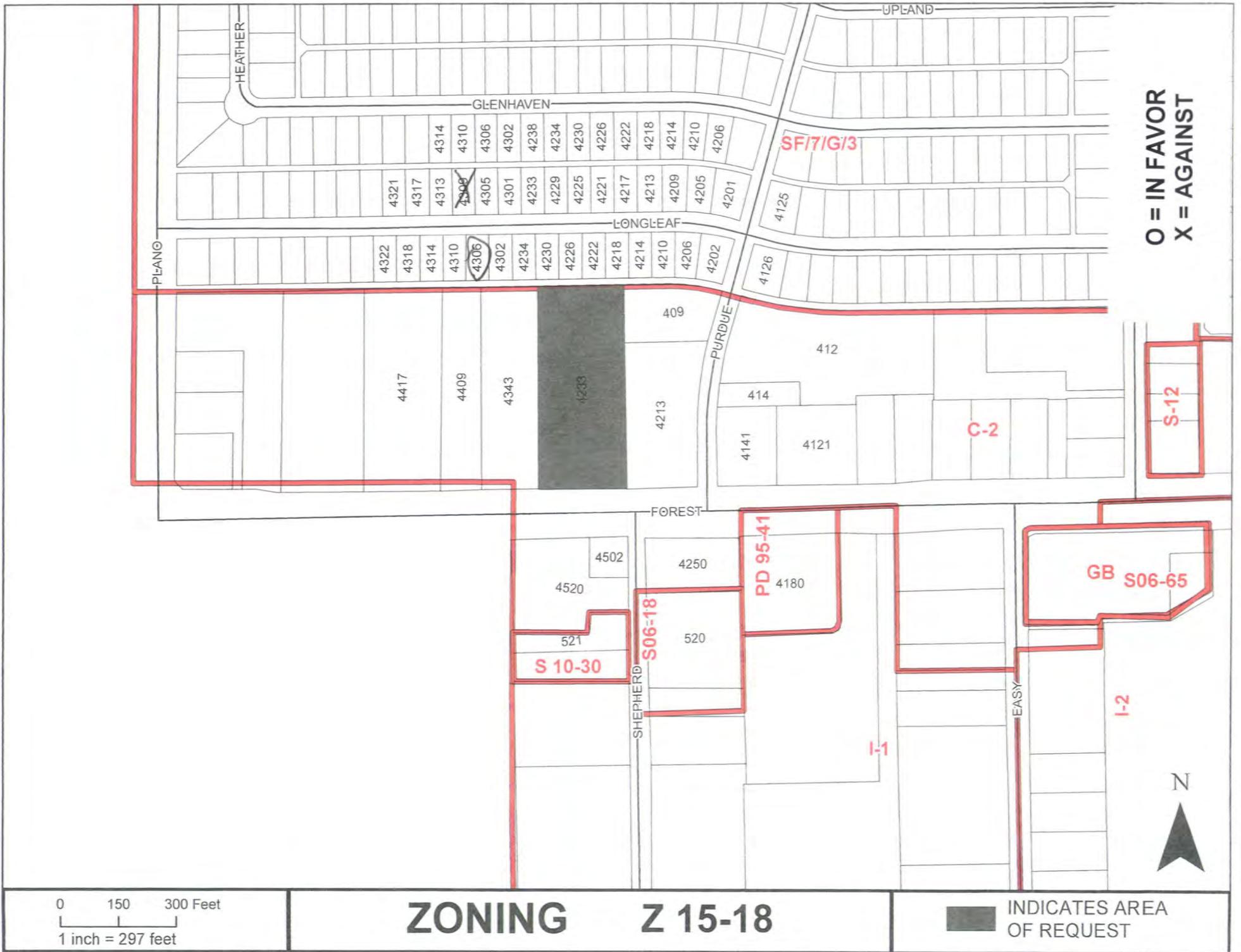
REPORT & MINUTES

P.C. Meeting, May 11, 2015 (9 Members Present)

Consideration of the application of Metro Lumber Supply Co., requesting approval of 1) a Specific Use Permit for Building Materials on property zoned Commercial-2 (C-2) District and 2) a variance to the Section 5.0 of the Screening and Landscape Standards regarding screening methods and materials. This property is located at 4233 Forest Lane. (District 6) (File Z 15-18)

Representing the applicant Alex Pizette, 5900 Lindfield Ct., Plano, TX. provided information regarding the property to the rear of their leased property.

Motion was made by Commissioner Vera, seconded by Commissioner Moore to **approve** the request per staff recommendation and excluding the rear portion of the site from the SUP boundary. **Motion carried:** 9 Ayes, 0 Nays.





GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 30, 2015

HEARING DATE/TIME: Plan Commission: May 11, 2015 - 7:00 PM

APPLICANT: Dallas Cedar Company

File Z 15-18

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, May 11, 2015, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of Dallas Cedar Company requesting approval of 1) a Specific Use Permit for Building Materials Use on property zoned Commercial-2 (C-2) District and 2) a variance to the Screening and Landscape Standards Section 5.0, regarding screening methods and materials. The property is shown on the enclosed sketch and is described as follows:

Being Lot 1, Block, 1 Skillman Forest No.7, City of Garland, Dallas County, Texas Volume 78183, Page 29 of the Map Records of Dallas County, Texas, totaling 2.6 acres. The property is located at 4233 Forest Lane, east of the intersection of Jupiter Road and Forest Lane (District 6).

Note: The applicant requests a Specific Use Permit and the associated variance to allow the retail and wholesale of building materials with limited outdoor storage.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474. Should you have any questions, please contact Isaac Williams at 972-205-2459.

(Please Check One Below)

X I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

no business no rich
So we like to build for business.

(Please complete the following information)

Your Property Address

Printed Name AN NGUYEN & NHA THI HUYNH
Address 4306 Longleaf Dr City, State Garland, TX Zip 75042

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature [Handwritten Signature] Title [Handwritten Signature]

Date: 05-06-2015



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

April 30, 2015

HEARING DATE/TIME: Plan Commission: May 11, 2015 – 7:00 PM

APPLICANT: Dallas Cedar Company

File Z 15-18

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, May 11, 2015, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Dallas Cedar Company** requesting approval of 1) a Specific Use Permit for Building Materials Use on property zoned Commercial-2 (C-2) District and 2) a variance to the Screening and Landscape Standards Section 5.0, regarding screening methods and materials. The property is shown on the enclosed sketch and is described as follows:

Being Lot 1, Block 1 Skillman Forest No.7, City of Garland, Dallas County, Texas Volume 78183, Page 29 of the Map Records of Dallas County, Texas, totaling 2.6 acres. The property is located at 4233 Forest Lane, east of the intersection of Jupiter Road and Forest Lane (District 6).

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(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address

MEIDA. ROSA CRUZ.
Printed Name
4309 Longleaf Dr. Garland TX 75042
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Melda. R. Cruz
Signature OWNEY PROPERTY
Title

Date: 5/11/15



File No. 15-20/District 1

Agenda Item:

Meeting: City Council

Date: June 2, 2015

Planning Report

City of Garland

Northeast of PGBT/SH 190, west of Holford Road, and south of the city limits line

REQUEST

Approval of a change of zoning from Agriculture (AG) District; Planned Development (PD) Districts 01-04, 01-23, 87-28, and 01-18 for Freeway Uses; Planned Development (PD) Districts 04-16, 01-05, 95-59, 98-05, and 05-08 for Mixed Uses; Planned Development (PD) District 00-27 for Office Uses; and Planned Development (PD) District 00-20 for Shopping Center Uses to a Planned Development (PD) District for Mixed-Uses.

OWNERS

Texas Health Resources
Shiloh Road Partners
Plains Capital Bank
Sanmina
Stacy Standridge
FiveStone Community Church
Aegon
Harold Blankenmeyer
Jibrin MCI, LLC
Ace Investments

PLAN COMMISSION RECOMMENDATION

On May 11, 2015, the Plan Commission, by a vote of nine (9) to zero (0), recommended approval of the request for rezoning to a Planned Development (PD) District for Mixed Uses and associated variances to current standards with the additional noted revisions:

- Garage door material standards for front facing garages
- Ensure Bike lane widths are coordinated with the Thoroughfare Plan
- Ensure that the illustrative plan complies with and/or is consistent with the standards for the different character zones
- Add note to the Development Standards table regarding the 3 story height limitation along Holford Road
- Update the framework plan to reflect the prior version of the character zone layout

STAFF RECOMMENDATION

Approval of the request for rezoning to a Planned Development (PD) District for Mixed Uses.

By maximizing the use of the land through higher densities, mixes of uses and urban forms, the Planned Development is compatible with the surrounding area and will influence the prospective developments along the SH 190 corridor. The development potential of the subject property has been evaluated from an economic perspective as well as a land use view point. By creating an activity center that has a distinctive community design, range of building types and uses, pedestrian-oriented streetscapes and open space, the proposed development would be consistent with the vision for this area.

BACKGROUND

In October of 2013 the City entered into a contract with a consultant team led by Gateway Planning Group to prepare a conceptual development plan and implementation strategy for certain undeveloped parcels of land in the vicinity of SH 190 and Campbell Road; generally bound by SH 190, Holford Road, and the northern city limits. The study area contains approximately 300 acres and 10 land ownerships. The need for this plan resulted from the conflicting interest of many of the property owners and prospective developers to develop most of the area primarily with residential uses and the City's desire to preserve the area for a mixture of compatible uses supportive of an employment-generating center as shown on the Envision Garland 2030 Comprehensive Plan.

As a result of extensive meetings with City staff and landowners and their representatives within the study area, a conceptual plan was developed and a Mixed Use Planned Development District drafted to implement the development plan.

SITE DATA

The subject property consists of various tracts of land together comprising approximately 300 acres, generally located within the boundaries of North President George Bush Turnpike (south and west), the City of Garland city limits line (north), and Holford Road (east). The subject property excludes the following tracts: Lot 1, Block 1 Gurdwara Akaljot; Lot 36, Block 1, Pot O' Gold; Lot 1, Block 1, Campbell Firewheel Addition; Lot 1, Block 1, Montessori School Addition; Lots 1 and 2, Block 1, Campbell Ferris Addition; Lots 2A and 2B-R, Blackburn State Highway 190 Addition.

USE OF PROPERTY UNDER CURRENT ZONING

The current zoning of the subject property is a variety of Planned Development Districts for Mixed Uses, Office Uses, Shopping Center Uses and Freeway Uses. Some of the Planned Development Districts include approved Detail Plans for a variety of uses including light industrial, office and retail. The current zoning was

done on an individual basis per property and does not represent a cohesive development plan for the overall area.

CONSIDERATIONS

1. Land Use

The intent of the proposed Planned Development is to create a mixed-use area with a variety of land uses, pedestrian-oriented amenities and open space and urban design aesthetic. The desired mix of uses is a balance of non-residential and residential within a context that will allow for the maximum utilization of land.

The proposed mixed-use development is generally consistent with the vision and goals set forth by the Envision Garland Plan for this area, and are also consistent with the recommendations of the City's Economic Development Strategy which identifies the Campbell/SH 190 area as a Targeted Investment Area for office, employment, residential and support retail development. Residential development is permitted within the Planned Development with specific parameters to ensure the appropriate mix of residential types and design that complement the surrounding non-residential uses. Single-family and multi-family uses could develop throughout the area within the context set forth within the Planned Development. The Planned Development creates the ability for office, retail and other employment-generating uses to occur throughout the subject property with the focus of those uses congregating along SH 190 and the other major thoroughfares.

2. Process

The Planned Development regulations are very specific and regulate not only the uses and development standards but also the process for approval of Master Concept Plans and Detail Plans. Section IV of the PD regulations dictates that Master Concept Plans that are consistent with the adopted Zoning Framework Plan, PD requirements and applicable sections of the Garland Development Code (GDC) may be approved by the Director of Planning. Otherwise, the Master Concept Plans must be approved through the public hearing process through Plan Commission and City Council. The same process is in place for Detail Plans that are evaluated for consistency with the approved Master Concept Plans and PD regulations.

3. Planned Development Regulations

The PD regulations are specific and govern all development within the subject property with regard to permitted uses, required housing type mix, delineation of areas for required non-residential uses, design standards, additional requirements for auto-dominant elements, landscaping, and street design standards. The details of the PD regulations will be presented by the consultant, Gateway Planning. The provisions of the PD, when in conflict, shall take precedence over those in the Garland Development Code (GDC) as amended except as noted within the PD regulations. Development standards not addressed in this PD shall be governed by the GDC to the extent they are not in conflict with the intent of the PD District standards.

4. Garland Development Code

The basis for the Planned Development is the Garland Development Code (GDC). The final ordinance adoption of the GDC took place on May 19, 2015. The GDC will govern the subject property in addition to the Planned

Development regulations. Any provisions not covered within the PD will be subject to the GDC provisions.

COMPREHENSIVE PLAN

The Future Land Use Map for Envision Garland identifies this area as appropriate for Business Centers. Business Centers represent clusters of business offices and/or low-impact industry whose development and operations result in minimal negative effects to adjacent development types. This includes supporting land uses (retail, services, restaurants, meeting facilities, and entertainment) and may include residential components within a coordinated development. The proposed Planned Development allows for a mixture of residential and non-residential uses that are mutually beneficial and are conducive to a live-work environment.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

Amongst the subject property are developed properties that have been excluded from the Planned Development District. Those properties are zoned within a variety of Planned Developments and are developed with different uses included a Montessori school, medical office, church, place of worship and an assisted living facility under construction. There are existing single-family residences to the northeast of the subject property. South of SH 190 a Planned Development (PD) District 12-41 for Mixed Uses was approved and would be a continuation of a similar development pattern established by the proposed PD.

The site must be developed in a manner that is sensitive to the surrounding uses as well as protecting the future investment in the area. The allowance for a mix of uses will create a cohesive hub of activity with a range of uses that are not reliant on one development type. This will increase the ability for the property to develop over time within controls that regulate the design, intensity and uses to ensure compatibility with the existing surrounding developments.

Prepared By:

Chasidy Allen, AICP
Principal Planner

Date: May 21, 2015

Reviewed By:

Will Guerin, AICP
Director of Planning

Date: May 22, 2015

Reviewed By:

Bryan L. Bradford
City Manager

Date: May 26, 2015

City of Garland SH 190/Campbell Mixed Use Center Planned Development District

DRAFT
~~April 7~~ May 5, 2015



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Created for



GARLAND

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By:

GATEWAYPLANNING
A VIALTA GROUP PARTNER

City of Garland SH 190/Campbell Mixed Use Center Planned Development District

Table of Contents

- I. Purpose and Intent
- II. Applicability
- III. SH 190/Campbell MUC-PD District Structure
- IV. Administration
- V. Schedule of Uses
- VI. Development Standards
 - A. General to all sites
 - B. Performance and Design Standards
 - C. Site Development Standards
- VII. Definitions

Appendices:

- A. Zoning Framework Plan
- B. Sample Illustrative Plans
- C. SH 190/Campbell MUC-PD District Structure and Review Process Flow Chart
- D. Street Design Standards and Typical Cross Sections

SH 190/Campbell Mixed Use Center Planned Development District

I. Purpose and Intent

The purpose and intent of the SH 190/Campbell Mixed Use Center Planned Development District (here after known as "MUC-PD") is to implement the City's vision for a vibrant and sustainable approach to the development of SH 190 Corridor and to encourage the continuation of the Telecom Corridor® through Garland by becoming a center for major employment office, technology, healthcare and support services, while encouraging, where feasible, a mix of complementary uses including housing, retail, offices, commercial services, and civic uses, supporting long term attractiveness for both employment uses and neighborhood uses. Specifically, the MUC-PD is intended to:

- A. Create short-term development momentum while allowing for long-term market opportunities for larger-scale employment uses;
- B. Establish a high level of development standards to create development of exemplary and enduring quality that fits into the City's vision including Envision Garland 2030 as amended;
- C. Encourage the development of vertical and horizontal mixed-use areas that are safe, comfortable and attractive to pedestrians while protecting significant environmentally sensitive areas;
- D. Provide flexibility on the site and with design of new development to anticipate changes in the marketplace while establishing human-scaled buildings;
- E. Leverage the frontage and access to SH 190 and other regional corridors while preserving environmentally significant areas as "features" and not constraints, encouraging destination retail and other uses along the SH 190 Corridor with adjacent transitions to sustainable mixed use development patterns so that destination uses directly along the corridor are accessible internally by walking, cycling and driving;
- F. Create a variety of connected community gathering places and passive open spaces with trails to make walking and biking easy from one place to another and connect to off-site trails;
- G. Include a range of residential options that reflect changing lifestyles considering both market demand and City preferences;
- H. Provide appropriate transitions to protect adjacent neighborhoods and to promote sustained value;
- I. Encourage efficient uses of land; and
- J. Utilize existing and future transportation and parking assets efficiently in order to optimize both auto traffic on surrounding streets and on-site parking demand through design strategies and policy incentives that support use of multiple modes of transportation.

II. Applicability

- A. The MUC-PD District (this Code) applies to the property shown as the PD ~~##-##-15-20~~ on the Zoning Map and the boundaries are as established in the Zoning Framework Plan in Appendix A.
- B. The provisions of the MUC-PD District (this Code), when in conflict, shall take precedence over those in the Garland Development Code (GDC) as amended except as noted herein. Development standards not addressed in this Code shall be governed by the GDC to the extent they are not in conflict with the intent of the MUC-PD District standards.

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III. SH 190/Campbell MUC-PD District Structure

- A. MUC-PD District Structure: The following plans establish the structure within which the details of the PD District are calibrated to a specific Master Concept Plan (MCP) at the time of development. The Sample Illustrative Plans are included to provide an overall guidance on the desired pattern and character of development envisioned under this code while the Zoning Framework Plan establishes the major street network and character zone allocations within the PD District.
 - 1. Sample Illustrative Plans – are conceptual plans generated for different areas of the MUC-PD District that provide guidance on the intended character and layout of development based on the context and vision for the different character zones. These are to be used as prototypical development scenarios that would inform the ultimate Master Concept Plan by the individual developers/property owners. The Sample Illustrative Plans illustrate important principles of planning a mixed use, walkable neighborhood.
 - 2. Zoning Framework Plan – is the plan that is adopted at the time of creation of this PD and associated rezoning and establishes the different Character Zones and the major street network envisioned for MUC-PD District. Using the Zoning Framework Plan (ZFP) (Appendix A) and this Code, an applicant shall specify certain details of the development and may refine ZFP elements at the time of MCP per the criteria established in this Code.

Five (5) Character Zones are established within the MUC-PD, each of which implements specific aspects of the vision for a regional mixed use destination with significant employment and residential uses. Prior to any new development within these areas, a Master Concept Plan (MCP) consistent with the adopted ZFP (Appendix A) and this PD shall be developed by the applicant/property owner or developer.

- i. Employment Mixed Use Zone (E-MU): This is the Character Zone the area adjacent to the SH 190 frontage and along Lookout Drive. This zone is appropriate for the long-term development of large-scale regional employment and office uses due to its proximity to the Telecom Corridor®. The direct access to regional roadways including SH 190 offers adequate capacity for such an employment hub. The major roadway frontages along SH 190, Lookout Drive, and Telecom Parkway are not appropriate for ground floor residential uses. The vision for this zone is mid-to high-rise office buildings with structured parking.
- ii. Retail Mixed Use Zone (RMU): This is the area adjacent to SH 190 with access conducive to destination and regional retail uses. This area shall contain design and development standards that allow for retail and office uses; but that also encourage connections and transitional uses with the adjacent development.
- iii. Mixed Use-Mixed Residential Zone (MU-MR): This area is the core mixed use development opportunity for the area, linking the other areas together and encouraging development standards and uses that create a variety of higher density residential types as well as office and retail uses that do not require visibility from SH 190, but in a walkable development context.

- iv. Transition Zone (T): This area is located to provide opportunities for residential and neighborhood serving smaller scale professional office and retail within a design context that respects the scale of the adjacent Mixed Residential Zone (MR).
 - v. Mixed Residential Zone (MR): This area is primarily residential in character and intended to provide a transition to the single family neighborhoods to the northeast. This area shall provide a variety of lower density attached and detached housing types within a walkable context including integrated small open spaces.
3. Master Concept Plan – A Master Concept Plan shall establish the exact location of Character Zones, land uses and open spaces, blocks, lots, building and street layout, treatment of transition areas to adjacent uses and any other appropriate information required by this PD. The Master Concept Plan shall illustrate the design direction of the site with dimensional standards that provide substantial certainty about the development outcomes, intensity, and phasing of the proposed development. It shall be created and submitted by the applicant/developer prior to any new development within the MUC-PD in conformance with Type 1 or Type 2 MCP applications as established in Section IV.B.2 of this Code. A Master Concept Plan shall meet the standards established in the Zoning Framework Plan and this PD and shall be developed for a minimum acreage even if the actual development is phased.
- i. Minimum Acreage Required: The minimum acreage required for any initial Master Concept Plan shall be no smaller than any one of the following: (1) all the contiguous property under one single ownership; or (2) all property under one Character Zone as established in the adopted Zoning Framework Plan; or (3) all property circumscribed by any proposed new or existing streets per the Zoning Framework Plan.
 - ii. Amendments to Approved Master Concept Plans: After the initial Master Concept Plan approval, subsequent amendments to approved MCPs shall include the entire area of the initial Master Concept Plan approval regardless of the standards in III.A.3.i. above.
4. Detail Plan: Detail plans shall be the lot and buildings level plans and shall be required for individual lots and/or buildings prior to Site Permit and/or Building Permit approval for all development. The approval process for detail plans shall be based on the process established for Type 1 or 2 applications in Section IV.B.3 of this PD and as outlined within Section 2.12 of the GDC.

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IV. Administration

- A. General: No building or structure may be erected or moved unless in conformity with this MUC-PD.
- B. Authority for Approval (See Appendix C for a flow chart illustrating the Application Process):
 - 1. Zoning Framework Plans: may only be approved by City Council after recommendation by the Plan Commission. The process for Zoning Change applications in Chapter 2, Article 2, Division 1 of the GDC shall be followed. Modifications to adopted ZFPs may also be processed in conjunction with MCP applications per IV.B.2 below.

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- 2. Master Concept Plans: Master Concept Plans may be classified into Type 1 and Type 2 MCP applications.
 - i. Type 1 MCP Applications:
 - a. Shall include any new or revised MCP applications consistent with the adopted ZFP, requirements of this PD, and applicable sections of the GDC. They may include minor modifications to ZFP elements per Table 4-1.
 - b. May be approved administratively by the Director.
 - c. Appeals to the Director’s decision shall be heard by the City Council after a recommendation from the Plan Commission. In reviewing such appeals, the Plan Commission and City Council shall only consider the items identified by the Director as not meeting this PD.
 - ii. Type 2 MCP Applications:
 - a. Shall include any new or revised MCP applications that are NOT consistent with the adopted ZFP, requirements of this PD, or applicable sections of the GDC or propose alternative standards to the standards in this PD or an approved ZFP beyond the standards established under Table 4-1 for minor modifications to Zoning Framework Plan elements.
 - b. May only be approved by City Council after recommendation by the Plan Commission.
 - c. The process for Type 2 MCP Applications shall follow the process for Concept Plan Review under Section 2.12 of the GDC. In considering Type 2 MCP Applications, the Plan Commission and the City Council may use any of the following criteria:
 - 1) The extent to which the proposed modifications to street layout and/or character zones impact adjoining properties with respect to continuity and adjacency predictability;
 - 2) The overall purpose and intent of the regional Mixed Use Center;
 - 3) The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 - 4) The extent to which the proposal provides public benefits such as usable civic and open spaces, livable streets, affordable housing, structured and/or shared parking, and linkages to transit; and
 - 5) The extent to which the proposal does not hinder future opportunities for higher intensity development.
- 3. Detail Plans: Detail Plans may be classified into Type 1 and Type 2 applications.
 - i. Type 1 Detail Plan Applications:
 - a. Shall include any new or revised Detail Plans consistent with the requirements of this PD, an approved MCP, and applicable sections of the GDC.
 - b. May be approved administratively by the Director.
 - ii. Type 2 Detail Plan Applications:
 - a. Shall include any new or revised Detail Plans that are NOT consistent with the requirements of this PD, an approved MCP, or applicable sections of the GDC or propose alternative standards to the standards in this PD or an approved MCP.

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- b. May only be approved by City Council after recommendation by the Plan Commission.
 - c. The process for Type 2 Applications shall follow Section 2.12 of the GDC. In considering Type 2 Applications, the Plan Commission and the City Council may use any of the following criteria:
 - 1) The extent to which the proposed application impacts adjoining properties with respect to continuity and adjacency predictability;
 - 2) The extent to which the application meets the overall purpose and intent of the regional Mixed Use Center;
 - 3) The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 - 4) The extent to which the application provides public benefits such as usable civic and open spaces, livable streets, affordable housing, structured and/or shared parking, and linkages to transit; and
 - 5) The extent to which the application does not hinder future opportunities for higher intensity development.
- C. Master Concept Plan Requirements: The Master Concept Plan is intended to illustrate the building and block level development pattern of the MUC-PD District consistent with the purpose and intent of the Section and establish the detailed standards and rules for any new development within the MUC-PD District and the corresponding Character Zones.
- 1. The applicant shall submit a Master Concept Plan for the minimum acreage as established in Section III.A.3.i. The Master Concept Plan application shall be made prior to detail plan application for any new development.
 - i. Each MCP application shall:
 - a. demonstrate compliance with this PD's purpose, intent, and development standards;
 - b. include exhibits meeting all the informational requirements for a Concept Plan under Section 2.11 of the GDC, and meeting the standards of this PD and adopted ZFP including:
 - 1) Delineation of the Character Zones per the adopted ZFP (including any modifications to adopted ZFP elements);
 - 2) The layout of proposed blocks, major and minor streets, bikeways, sidewalks, and trails;
 - 3) the location and acreage of open space areas and whether each will be privately owned, a common area for residents only or dedicated to public use;
 - 4) Type "A" and "B" Development Frontage designations based on the standards in this PD.
 - 5) A conceptual level plan for the accommodation of stormwater drainage and detention and other major water and sewer infrastructure elements for the overall area included in the MCP;
 - 6) the location and area of retail, office, industrial, residential, civic, and open space uses;

- 7) the approximate shape, size, and placement of buildings;
- 8) the general parking location relative to streets and buildings and approximate parking count, with indication of parking lot landscape areas; and
- 9) any minor modifications to adopted ZFP elements per Table 4-1 below.

Framework Plan Element	Extent of Minor Modification Permitted	Criteria
a. Area/boundary of a Character Zone	Area/boundary of a specific Character Zone may be adjusted no more or less than 30%.	<ul style="list-style-type: none"> i. Shall not eliminate any character zone ii. Modified area shall be contiguous with the corresponding character zone that is changed iii. Boundary modifications may be due to physical constraints on the property, or shifting of internal roadways or to better align with ownership boundaries.
b. Location of any Required Street	Location may be shifted no more than 150' in any direction	<ul style="list-style-type: none"> i. Shall maintain the connectivity intended by the Framework Plan ii. Shall maintain the continuation and/or connectivity with any existing streets or driveways where possible
c. Area of any Required Civic/Open Space	May be reduced by no more than 25%	<ul style="list-style-type: none"> i. Shall maintain the frontages required by the Framework Plan ii. Area may be adjusted to accommodate shifting of any new Required Streets or any required easements only

- c. Include a Street Classification Master Plan with associated with cross-sections and street classifications for the proposed MCP area (or for each phase, if it is to be developed in phases) specifying right-of-way width, minimum pavement width, on-street parking, approximate location of street trees, bikeways and sidewalks (Appendix D, ~~ITE's~~ Institute of Transportation Engineers' Designing Walkable Urban Thoroughfares manual or NACTO's Urban Street Design Guide shall be used to guide the development of the proposed cross sections in lieu of the street standards in the GDC. See Definitions for complete citation).
- d. ~~include-Include~~ a report in the form of text, statistical information, tables, guidelines, and graphics that includes:
 - 1) a statement of the purpose and intent of the proposed development consistent with the vision and ZFP for the MUC-PD District and its Character Zones;
 - 2) a description of the mix of land uses and the factors which ensure compatibility both within the development site, with adjacent land uses, and compliance with the recommendations of all the adopted elements of the Comprehensive Plan;
 - 3) any special standards for signage in the form of a Master Sign Plan application that provides a design palette addressing the location, size, type, lighting, colors, and materials for all signage in the proposed

development unless meeting the Sign Regulations in Chapter 4, Article 5 of the GDC;

- 4) statistical information including:
 - a) gross acreage of the site, and net acreage of the site excluding jurisdictional wetlands, regulatory floodplains, and slopes over 20%;
 - b) the amount of land devoted to open space, both in acres and as a percentage of the gross acreage of the site;
 - c) the amount of land devoted to retail, office, industrial, residential, and civic uses;
 - d) a plan for pedestrian, bicycle, and vehicular circulation describing the general design capacity of the system as well as access points to any regional trail system;
 - e) a daily and peak hour trip generation and directional distribution report by use unless the Director of Transportation finds that the traffic to be generated by the proposed development does not warrant the preparation and submission of a study;
 - f) the maximum allowable building coverage and height; and
 - g) the minimum and maximum building setbacks.
- e. Development standards for the proposed development that meet Section VI.B of this PD and specifying standards for all the “flexible” elements by each Character Zone within the specific MCP area in the form of a table (see Table 6-3 in Section VI for criteria and format);
- f. Compliance with frontage and housing mix and type standards in Section VI.A.4 for the specific Character Zones and locations to be included with the MCP;
- g. Building design and general architectural design standards that meet Sections VI.A.8 and VI.A.9 of this PD for the proposed development specifying general materials and configurations permitted for facades, roofs, and openings;
- h. a landscape concept plan that includes the design direction and general for streetscapes and public/open spaces types; and
- i. a non-binding schedule for the entire development (or for each phase, if it is to be developed by phases), which shall show generally how the applicant will complete the project containing the following information:
 - 1) The proposed order of construction by section delineated on the Master Concept Plan;
 - 2) The proposed schedule for construction of improvements to open space areas; and
 - 3) The proposed schedule for the installation of required public streets, utilities improvements and the dedication of public rights-of-way and/or easements.

D. Detail Plans and Minor Amendments to Approved MCPs:

- 1. Detail Plan Requirements: A Detail Plan shall be required for all development. Detail Plans within the MUC-PD District shall meet the submittal requirements for Detail Plans

established under the Section 2.12 of the GDC. Additional information that adequately illustrates the detail plan's compliance with this PD and the applicable MCP shall also be required. The process for approval of Detail Plans is established in Section IV.B.3 of this PD and within Chapter 2, Article 2, Division 2 of the GDC.

2. The Director of Planning may approve minor changes ~~and modifications~~ to a previously approved MCP or detail plan with the applicant's written justification for such changes. Any significant changes to and deviations from approved plans shall be regarded as an amendment to that particular plan and may be reviewed by the Director of Planning and processed per the standards established in this PD. The Director of Planning shall make the determination as to whether a proposed change is minor or significant, based upon consideration of the following facts:
 - i. whether the proposed change substantially alters the arrangement of component zones, buildings or changes the use of building space designated on the original plan;
 - ii. whether there is an increase of greater than 10% in the number of residential dwelling units beyond the threshold established in the approved MCP;
 - iii. whether the proposed change substantially alters vehicular circulation or the placement/ arrangement of parking areas; or
 - iv. whether the proposed change will reduce or lessen the effectiveness of open space, landscape buffers, and edges.

V. Schedule of Uses

- A. No permit may be issued for a use that is not allowed by this MUC-PD.
- B. Use Categories: In order to regulate use, categories of uses have been established. Use categories provide a systematic basis for assigning land uses to appropriate categories with other, similar uses. Use categories classify land uses and activities based on common functional, product, or physical characteristics. Characteristics include the type and amount of activity, the hours of operation, the type of customers or residents, how goods or services are sold or delivered, likely impact on surrounding properties, and site conditions.
- C. Principal Uses: Allowed principal uses by MUC-PD District and Character Zones are listed in Table 5.1 Permitted Use Table. Principal uses are grouped into categories of uses (see Definitions for description of land use categories). The example uses listed are not an exhaustive list. The Director of Planning has the responsibility for categorizing all uses.
- D. Accessory Uses: The following standards shall apply to Accessory Uses:
 - 1. Unless otherwise expressly stated, accessory uses are permitted in conjunction with allowed principal uses. Accessory uses shall be accessory and customarily incidental and subordinate to a permitted principal use.
 - 2. No accessory use may be established on a site prior to the establishment of a permitted principal use.
 - 3. The Director of Planning is authorized to determine when a structure or use meets the definition of an accessory use. In order to classify a structure or use as accessory, the Director of Planning must determine that the use:
 - i. Is subordinate to the principal use in terms of area, extent and purpose;
 - ii. Contributes to the comfort, convenience or necessity of occupants of the principal use served;
 - iii. Is located on the same lot as the principal structure or use, or on a contiguous lot in the same ownership;
 - iv. Does not involve operations not in keeping with the character of the principal use served; and
 - v. Is not of a nature likely to attract visitors in larger numbers than would normally be expected for the principal structure or use.
 - 4. Home Occupations: Standards in Section 2.61 of the GDC shall apply.
 - 5. Live-Work Uses and Structures: Live-work uses and structures are permitted per Section V of this PD. A live-work structure is a mixed use building type with a dwelling unit that is also used for work purposes, provided that the 'work' component is (1) restricted to the uses of professional office, personal service, cottage industrial, artist's workshop, studio, or other similar uses, (2) is located on the street level and ground floors constructed to Commercial Ready standards, and (3) is constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (adjacent to the work component) or any other level of the building. Live-work dwelling is distinguished from a home occupation otherwise defined by this Section in that the "work" component is not required to be incidental and secondary to the "live" component. The business owner or a full-time employee ~~shall~~may reside in the

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residential unit associated with the commercial use. ~~In some instances, the business activity occupying the live/work unit may utilize employees in addition to the residents; however, at least one of the full time workers of the live/work unit must reside in the unit, and the residential area shall not be rented separately from the working area.~~

- E. Accessory Structures: All accessory structures shall be clearly subordinate to the principal structure on the lot. All accessory structures shall meet the applicable principal structure standards per the Character Zone unless alternative standards are proposed by the applicant and adopted as part of the MCP approval.

- P The land use is allowed by right in the zoning district indicated.
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Table 5-1 Schedule of Uses

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
AGRICULTURAL USES						
Farm, Ranch, Orchard						-
Feed Store						-
Stable, Commercial						-
Stable, Private						-
Stockyards, Livestock Auction, Livestock Hauling						-
RESIDENTIAL USES						
Accessory Dwellings:	-	-	-	-	-	-
Dwelling, Accessory – Guard/Manager/Caretaker					P	Sec. 2.58
Dwelling, Accessory – Guest House					P	Sec. 2.58
Dwelling, Accessory – Rental Unit					P	Sec. 2.58
Congregate Adult Living Facilities:	-	-	-	-	-	-
Rehabilitation Facility, In Home/Residential	S	S	S	S	S	-
Rehabilitation Facility, Institutionalized						-
Elder Care Facilities:	-	-	-	-	-	-
Elder Care – Assisted Living	S	S	S	S		Sec. 2.52(A)12
Elder Care – Continuing Care (combination)	S	S	S	S		Sec. 2.52(A)12

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Elder Care – Independent Living	P	P	P	P	p*	Sec. 2.52(A)12 P* = Permitted in duplex, triplex, quadplex, and single-family (attached and detached) building types only
Elder Care – Nursing/Convalescent Care	S	S	S	S		Sec. 2.52(A)12
Household Living Units:	-	-	-	-	-	-
Dwelling, Two-Family (duplex)			P	P	P	Sec. 2.38
Dwelling, Industrialized Housing Unit						Sec. 2.36
Dwelling, Manufactured/HUD-Code Home						-
Dwelling, Mobile Home						-
Dwelling, Multi-Family	P	P	P	P		Sec. 2.39
Dwelling, Live/Work	P	P	P	P		-
Dwelling, Single-Family Detached			P*	P	P*	Sec. 2.36 P* implies Section VI.A.4.i and Section VI.A.4.ii applies P implies only Section VI.A.4.i applies
Dwelling, Single-Family Attached (Townhouse)		P	P	P	P	Sec. 2.37
Manufactured/Mobile Home Park or Subdivision						-
ACCESSORY & TEMPORARY USES						
Accessory Structure			P	P	P	Sec. 2.58
Convenience Facilities:	-	-	-	-	-	-

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Drive-Through Service		S				Sec. 4.20 Standards in Section 7 of this PD also apply
Walk-Up Service	P	P	P	P		-
Fuel Pumps, Retail		S				Sec. 2.52(A)3 Standards in Section 7 of this PD also apply
Kiosks, Self-Service:	-	-	-	-	-	-
Automated Teller Machine (ATM) – Drive-Up	P	P	S	S		Sec. 2.52(A)7, Sec. 4.20
Automated Teller Machine (ATM) – Walk-Up	P	P	P	P		Sec. 2.52(A)7
Retail (ice, water, etc.)		S				Sec. 2.52(A)7, Sec. 4.20
Recycled Materials Collection						
Outside Display, New Materials		PS				Sec. 2.52(A)14
Outside Display, Used Materials						
Outside Storage, New Materials		S				Sec. 2.52(A)14
Outside Storage, Used Materials						
Outside Storage Unit, Portable (POD)						
Seasonal Sales	*	*	*	*		Art. VIII, Ch. 30, City Code
Shelter Tent						-
Shipping Container						Sec. 2.52(A)15, Art. XII, Ch. 30, City Code
Temporary Building/Office (field office, construction office, subdivision sales office, etc.)	*	*	*	*	*	Sec. 2.52(A)19
INSTITUTIONAL AND EDUCATIONAL						

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
College or University	P	P				-
Convention Facility	P	S	S			-
Day Care Facilities:	-	-	-	-	-	-
Day Care Center, Adult	PS	P	S	S	S	Sec. 2.52(A)13
Day Care, Youth – Licensed Child-Care Center	P	P	S	S	S	Sec. 2.52(A)2
Day Care, Youth – Registered Child-Care Home			S	S	S	Sec. 2.61
Church or Place of Worship	P	P	P	P	P	-
Learning Center, Specialized	P	P	S	S		-
School, Business	P	P	P			-
School, Retail/Personal Services Training	P	P	P			-
School, Trade						-
School, Private, Religious or Charter			S	S	S	-
School, Public			P	P	P	-
GOVERNMENT & HUMAN SERVICES USES						
Charitable Boarding						-
Garden, Charitable						-
Garden, Civic			P	P	P	-
Post Office	P	P	P	P		-
Social Service Facility/Agency		P	P	P		-
MEDICAL & HEALTH SERVICES USES						

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Cemetery						-
Hospital	S	S				-
Medical and Dental Office/Clinic	P	P	P	P		-
Mortuary/Funeral Home						-
RECREATIONAL, SOCIAL AND ENTERTAINMENT USES						
Athletic Events Facility, Indoor		P	P			-
Athletic Events Facility, Outdoor						-
Athletic Field, Stadium, Arena	S	S				-
Civic Club/Fraternal Lodge	P	P	P	S		-
Commercial Amusement, Indoor	P	P	PS			-
Commercial Amusement, Outdoor						-
Cultural Facility	P	P	P	P		-
Day Camp, Private						-
Dry Boat Storage						-
Equestrian Camp, Private						-
Golf Course/Country Club						-
Health & Fitness Gym (indoor)	P	P	P	P		-
Marina						-

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Public Amusement, Temporary	*	*	*	*		Art. VIII, Ch. 30, City Code.
Racing Track						-
Reception Facility		S				Sec. 2.52(A)20
Recreational Vehicle Park (short-term stays only)						-
Shooting Range, Indoor						-
Shooting Range, Outdoor						-
Theater, Large Scale		P				-
Theater, Small Scale	S	P	P			-
Zoo						-
OFFICE, RETAIL & SERVICE USES						
Alternative Financial Establishment						-
Antique Shop (indoors only)		P	P	P		-
Bait Sales, Live						-
Bakery, Retail	P	P	P	P		-
Bed and Breakfast						Sec. 2.52(A)11
Business & Media Service	P	P	P	P		-
Call Center	P	P	P			-
Commercial Blood, Plasma, Tissue and Cell Collection Center						Sec. 2.52(A)26

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Convenience Store (1,000-5,000sf)	P	P	P	S		Sec. 2.52(A)1
Financial Institution	P	P	P	P		Sec. 4.20
Flea Market, Indoor						-
Flea Market, Outdoor						-
Furniture, Household Furnishings and Appliance Sales/Rental		P	P			-
Grocery/Supermarket (>5,000sf)	S	P	P			-
Home Improvement Center (>50,000sf)		PS				-
Hotel/Motel, Extended Stay	S	S	S			Sec. 2.52(A)11
Hotel/Motel, Full Service	P	P	P			Sec. 2.52(A)11
Hotel/Motel, Limited Service	S	S	S			Sec. 2.52(A)11
Indoor Shopping Mall						-
Kiosk, Trailer or Mini-Structure (attended):	-	-	-	-	-	-
Retail/Service	S	P	P			Sec. 2.52(A)7, Sec. 4.20
Recycled Materials Collection						
Landscape Nursery (retail)		S				-
Landscape Nursery/Tree Farm (wholesale)						Sec. 2.52(A)17
Laundry, Drop-Off (with drive-through or window)	S	P	PS	P		Sec. 4.20
Laundry, Drop-Off (without drive-through or window)	P	P	P	P		-

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Laundry, Self-Serve (Laundromat)						-
Office, General	P	P	P	P		-
Pawn Shop						-
Personal Services	P	P	P	P		-
Pet Store (indoors only)	P	P	P			-
Pharmacy (with drive-through or window)	S	P	PS	S		Sec. 4.20
Pharmacy (without drive-through or window)	P	P	P	SP		-
Produce Stand/Outdoor Farmers Market		P	P	S		-
Restaurant (No Drive-Through)	P	P	P	SP		-
Restaurant, Drive-Through		P	PS	S		Sec. 4.20
Retail Store	P	P	P	P		-
Sexually Oriented Business						
Smoke Shop						-
Studio, Arts/Crafts	P	P	P	P		-
Studio, Fitness or Performing Arts	P	P	P	P		-
Tattooing/Body Piercing Establishment						Sec. 2.52(A)6
Used Goods, Retail Sales (Indoors)		S				-
COMMERCIAL USES						

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Bakery, Commercial						-
Building/Garden Materials Sales & Storage (wholesale)						Sec. 2.52(A)23
Bulk Material Sales & Storage (retail or wholesale)						Sec. 2.52(A)18
Contractor’s Office/Storage Yard (outdoor storage)						Sec. 2.52(A)24
Contractor’s Office/Warehouse (indoors only)						-
Custom Products Manufacturing	P					-
Equipment Leasing/Rental, Indoor						-
Equipment Leasing/Rental, Outdoor						Sec. 2.52(A)25
Feed/Grain Mill						-
Furniture and Appliance Cleaning/Repair						-
Garden, Commercial						-
Laundry Plant, Commercial						-
Meat and Game Processing						-
Pet Care/Play Facility (indoor)	P	P	P	P		Sec. 2.52(A)9
Pet Care/Play Facility (outdoor)						Sec. 2.52(A)9
Portable Building Sales/Leasing						-
Printing/Publishing House		S	S			-
Recording Studio/Media Production	P	P	P			-

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Recycling Collection Center (no outdoor storage)						Sec. 2.52(A)8
Recycling Salvage Yard (unlimited outdoor storage)						Sec. 2.52(A)8
Self-Storage Facility (mini-warehouse)		S				Sec. 2.52(A)16
Small Engine/Lawn Equipment Rental & Repair (indoors)						-
Taxidermist						-
Vehicle Dispatch & Storage						-
Veterinary Clinic, Large Animal (outdoor pens)						-
Veterinary Clinic, Small Animal (indoors only)	P	P	P	P		-
Veterinary Clinic, Small Animal (outdoor kennels, runs)						-
MOTOR VEHICLE & RELATED USES						
Automobile Leasing/Rental						-
Automobile Repair, Major						
Automobile Repair, Minor						
Automobile Sales, New or Used						-
Boat Sales, Leasing & Repair (outdoor storage)						
Car Wash, Automated/Rollover						
Car Wash, Full-Service/Detail		S				
Car Wash, Self-Service/Wand						

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Impoundment Lot (commercial/private)						-
Motorcycle/ATV Sales, Leasing & Repair (new and used – indoors only)						-
Parking Lot or Garage, Commercial	P	P	P			-
Personal Watercraft Sales, Leasing & Repair (new and used)						-
Recreational Vehicle/Trailer Sales, Leasing & Repair						-
Salvage Yard, Automotive						-
Travel Center						-
Truck/Bus Repair						-
Truck/Bus Sales & Leasing/Rental						-
Truck/Bus Storage						-
Truck/Bus Wash						-
Wrecker/Towing Service						-
TRANSPORTATION USES						
Airport/Heliport						-
Bus Stop	P	P	P	P		-
Helipad	S					-
Motor Freight Terminal/Railroad Switching Yard						-
Transit Station, Public	P	P	P			-

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Transportation Depot, Passenger (commercial)						
Transportation Terminal, Passenger (commercial)						-
INDUSTRIAL USES						
Animal Feed Processing & Storage						-
Batching Plant						-
Batching Plant, Temporary	P	P	P	P	P	-
Data Center	P	P	P			Design standards in Section VI.A.10 shall apply
Distribution Center, Large (indoors only)						-
Distribution Center, Small (indoors only)	S					-
Food Processing & Storage						-
Gas or Petroleum Drilling or Pipeline						
Heavy Machinery Sales, Rental, Storage & Repair						-
High Risk Use						-
Industrial or Manufacturing, Heavy						-
Industrial or Manufacturing, Light						-
Laboratory, Analytical or Research (indoor)	P					-
Leather & Allied Products Manufacturing						-

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	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Mining/Mineral Extraction						-
Warehouse, Office/Showroom (indoors only)	S					-
UTILITY & SERVICE USES						
Antenna, Commercial	*	*	*	*	*	Div. 5, Art. 5, Ch. 2
Antenna, Private	*	*	*	*	*	Div. 5, Div. 6, Art. 5, Ch. 2
Electric Generating Plant						-
Electric Substation	S	S	S			-
Gas Regulating Station						-
Telecommunications Switching Station	S	S				-
Wind Energy Conversion System	S	S	S	S	S	Div. 7, Art. 5, Ch.2

VI. Development Standards: This section shall establish the overarching development standards for walkable, mixed-use development within the ~~SH-190-EC~~MUC-PD and all its Character Zones. Standards in this Section shall be applied during the development of a Master Concept Plan. Some standards apply to all the Character Zones within the MUC-PD District and other standards are specific to specific Character Zones.

A. General to the MUC-PD:

1. Intent: Standards in this PD are intended to facilitate the development of market responsive and pedestrian-friendly environments while discouraging monotonous and single use projects. To this end, design and development standards are intended to be tailored to create such an environment based on market-driven projects over a long-term development horizon. In order to provide flexibility in use and design with prescription of performance standards for specific building form outcomes, applicable development standards for each Character Zone shall be established through the Master Concept Plan for each proposed development.
2. Requirements for Site Development Standards by Character Zone: At the time of Master Concept Plan application, each applicant shall establish specific Site Development Standards for each Character Zone included in the MCP area. These standards shall be based on Section VI.A and the criteria in the Site Development Standards Table 6-3 and shall be developed at the time of MCP by the applicant.
3. General Layout Principles: All Master Concept Plans shall meet the following general principles:
 - i. Buildings and urban design shall contribute to the physical definition of Thoroughfares as Civic places.
 - ii. Development shall adequately accommodate automobiles while providing supportive design and programs/incentives to increase the use of other modes of transportation and respecting the spatial form of public areas.
 - iii. Buildings shall provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
 - iv. Civic Buildings and public gathering places shall be provided as locations that reinforce community identity.
 - v. The plan should anticipate a harmonious and orderly evolution of the district based on market changes and reinvestment over time.
4. Frontage and Housing Mix Standards: In order to ensure that the PD implements the community's vision for a regional mixed use center with supporting mix of retail and mixed residential uses while providing for short term development opportunities that can be appropriately transitioned into higher intensity non-residential uses, Special Frontage and Housing Mix Standards are established in this MUC-PD District.
 - i. Frontage Standards: This section establishes the Frontage Standards for development within the primarily commercial zones of Employment Mixed Use, Retail Mixed Use, and Transition Zones and along certain street frontages as established in the ZFP.
 - Retail Mixed Use Zone (see Appendix A ~~—~~ Zoning Framework Plan for location of this requirement):
 - 1) Required Ground Floor Commercial Uses (see definition) along PGBT frontage road:
 - i. West of Campbell Road shall be ~~—~~within 200'-250' deep as measured from the ~~of the~~ PGBT frontage road.
 - ii. East of Campbell Road shall be 300' deep as measured from the PGBT frontage road

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- 2) No ground floor residential permitted within ~~200' of the PGBT frontage~~ the area designated for Ground Floor Commercial uses.
- 3) Upper floor residential allowed anywhere within this zone.
- 4) No limitation on surface parking along the PGBT frontage. Along Campbell Road frontage, surface parking shall be limited to no more than one double loaded aisle of parking (parallel, angled, or head-in).
- Employment Mixed Use Zone (applies to the blocks on both sides of Lookout Drive area west of Telecom Drive, and EMU area south of Lookout Drive and east of Telecom Drive only; see Appendix A -- Zoning Framework Plan for location of this requirement):
 - 1) Required Ground Floor Commercial Uses for the entire zone.
 - 2) No ground floor residential uses permitted.
 - 3) Upper floor residential allowed anywhere within this zone with structured parking only.
 - 4) No limitation on surface parking along the PGBT frontage. Along Lookout Road and Telecom Road frontage, surface parking shall be limited to no more than one double loaded aisle of parking (parallel, angled, or head-in).
- The following standards shall apply to frontages designated as "Special Frontage" along Lookout Road and Campbell Road (regardless of the specific character zone):
 - 1) For ground floor commercial and commercial ready uses (w/ upper floor residential uses) the following frontage standards shall apply—
 - No more than one double loaded aisle of parking (parallel, angled, or head-in) shall be permitted between the building and the street.
 - Any such parking shall be screened along the sidewalk/street frontage to maintain a well defined pedestrian edge with street trees and connections to building entrances.
 - Street intersections shall be anchored by building front façade design that turns the corner
 - No large parking lots at street intersections (beyond the one double-loaded aisle) and
 - Special façade design, articulation standards, 12' min. ground floor height, shall apply (see Section VI.A.8).
 - 2) For ground floor residential uses, including SF and townhomes (attached or detached-- by no more than 5 feet) the following frontage standards shall apply (note: SF detached residential uses more than 5' shall not be permitted with direct frontage along Campbell and Lookout Road)—
 - No off-street parking permitted between the building fronts and street along Campbell Road/Lookout Road.
 - All off-street parking in the rear (tuck-under, parking structure, or surface parking);
 - Parking shall be set behind buildings along Campbell and Lookout Roads;
 - Ground floor building height min of 12' finished floor to finished floor;

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- No blank walls or opaque residential fences (open fences allowed - wrought iron, picket, and similar fences not taller than 3').
- Fronts of residential buildings to address the street (stoops, patios, porches, bay windows, doors, etc.).
- No large parking lots at street intersections (beyond the one double-loaded aisle) or anchor street intersections with building facades that turn the corner.
- Street trees and sidewalks required.
- Minimum façade design, articulation shall apply for residential building types (see Section VI.A.8).
- Landscaped and divided entry roadways into the neighborhood are permitted along Campbell and Lookout Roads

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ii. Housing Mix and Type Standards: Table 6-1 establishes the different categories of Housing Types and Table 6-2 establishes the minimum mix of housing types for each MCP within the predominantly residential Character Zones of Mixed Use-Mixed Residential and Mixed Residential Zones.

Table 6-1 Housing Type Standards

Category/ Common Name		Lot Widths (min. – max.)	Garage or Primary Parking Location
Category 1	Type 1A	70' +	Any
	Type 1B	60' – 69'	Any
	Type 1C	50' – 59'	Any
Category 2	Type 2A	40' – 49'	Side or Rear
	Type 2B	25' – 39'	Side or Rear
Category 3	Type 3A on pedestrian mews, court, green, eyebrow, square, or other similar public space	40' – 49'	Rear
	Type 3B on pedestrian mews, court, green, eyebrow, square, or other similar public space	25' – 39'	Rear
	Multi-unit home	no min or max	Rear
	Townhome or Single Family Detached (if separated by 3' or less)	20' – 35'	Rear/tuck under
Category 4	Multi-family Residential	60' – no max	Rear/tuck under

Table 6-2 Housing Mix Requirements

Character Zone	Housing Mix Required	Notes
Mixed Use – Mixed Residential Zone	Minimum of 1 from Category 3 and minimum of 1 from either Category 2 or Category 4	Minimum number of units in each category included in each Master Concept Plan shall be either one block face or 10 units (whichever is

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		less)
Mixed Residential	Minimum of 1 from Category 1 and minimum of 1 from either Category 2 or Category 3	Minimum number of units in each category included in each Master Concept Plan shall be either one block face or 10 lots (whichever is less)

5. Street Design Standards: Street cross sections in Appendix D, ITE's Designing Walkable Urban Thoroughfares manual or NACTO's Urban Street Design Guide shall be used to develop the streets within the SH 190-ECMUC-PD. Generally, they shall:
 - i. Create a localized grid of pedestrian and vehicular travel ways.
 - ii. Be designed to create a pleasant walking environment with on-street parking and streetscape treatments.
 - iii. Discourage the use of cul-de-sacs unless natural features such as topography, floodplains or stream corridors, or practical site layout constraints- make a street connection impractical or inefficient. In such cases, a trail or pedestrian pathway shall be utilized where a street cannot be constructed due to natural constraints or drainage elements. When such pedestrian pathways or trails are used as block edges, they shall be limited to no more than two edges of a block and the pathway or pedestrian facility shall be a minimum of 8' in width. They shall provide connectivity to adjoining neighborhoods or shopping and shall be within public access easements. Such block faces may be considered as Type A frontages only if they meet the building frontage requirement in that character zone along that block face.
 - iv. Blocks may be square, elongated or irregular. Block shape and size should respond to topography, existing vegetation, hydrology, and design intentions.
 - v. Average blocks widths shall be between 400 feet and 600 feet. Blocks should vary in size based on the Sample Illustrative Plans and character zone standards.
 - vi. Blocks that are longer than 1,000 feet should be bisected by a walking path, paseo or other similar pedestrian cut-through.
 - vii. Blocks may be bounded by streets, -or drainage features.
 - viii. Appendix D shall establish the cross section standards for the different street types in the SH 190-ECMUC-PD.
 - ix. The MCP shall establish the Type "A" and Type "B" development frontage designations per the character zone standards within the Development Standards Table 6-3 of this PD.
 - x. Porte-cochers may be used along Type "A" frontages but shall maintain the pedestrian streetscape along the edge of the street within minimal encroachments of driveways and with the utilization of street walls along the sidewalk/street frontage to help define the pedestrian and public realms.

6. Open Space Standards: The provision of adequate and appropriate open space areas shall be integral to all development in SH 190-ECMUC-PD. The minimum requirement for open space in the district is 10% of the gross area of the site which shall be based on the locations identified in the Zoning Framework Plan (if any) and dedicated as open space in the Master Concept Plan. The design of open spaces within the development shall be integrated with the design of stormwater improvements. However, no more

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than 50% of any required open space shall be used solely for stormwater improvements such as retention ponds and creeks. The remaining 50% of the open space may be utilized for stormwater improvements only if amenitized and designed to also be usable open space per the criteria below. In addition to the following standards for the design, location, and orientation of open space, site specific standards shall also apply based on the Character Zone context:

- i. The open space provided shall be appropriately distributed, designed and scaled in each of the character zones.
 - ii. The following criteria shall be used to evaluate the merits of proposed open spaces in the MUC-PD Master Concept Plan:
 - a. The extent to which environmental elements preserved are considered as “features” or “focal points” and integrated into and prominently featured as “front yards” in the development; adding value to the development;
 - b. The extent to which emphasis has been placed on preservation of existing wooded areas, view sheds, water bodies, topography, and stream corridors in a natural and contiguous state;
 - c. The extent to which pedestrian connectivity in the form of sidewalks, natural walking paths along stream and creek corridors has been accommodated; and
 - d. The extent to which a range of open spaces have been provided to be contiguous with existing open spaces and to invite passive recreational uses from plazas and squares to playgrounds, parks and environmental preserves, appropriately organized within the respective component zone.
 - iii. Open spaces may be in the form of plazas, pocket parks, children’s play areas, squares, linear greens, parks, and environmental preserves as outlined within Section 7.21 (Table 2.9.1) of the GDC. Active sports fields and structured recreational activities shall be limited to less than 10% of any required open space located in any character zone.
 - iv. Plazas and squares shall be permitted only in the Employment Mixed Use, Retail Mixed Use, and Mixed Use-Mixed Residential character zones. A plaza which is intended to serve as open space may be located at a street intersection or a focal point and shall generally be small in scale (under ¼ acre in size). A square which is intended to serve as open space may also be located at a street intersection or as a focal point of a development.
7. Special Designations: The following Special Designations are optional (unless required per Section VI.A.4 and Section VI.A.5), but if used, shall be designated on the MCP:
- i. Mandatory and/or Recommended Commercial Ready/Active Edge Requirement: Shall be designated frontages requiring active ground floor uses for a minimum depth of 30’ (no residential units, lodging rooms, parking (except as permitted in Section VI.A.4) , or service uses permitted) and with the ground floor façade being no less than 60% glazed (VT higher than 0.6). Such frontage designations are permitted in the following character zones: Employment Mixed Use, Retail Mixed Use, Mixed Use-Mixed Residential, and Transition.

- ii. Designations for Mandatory and/or Recommended Gallery or Colonnade Frontage: requiring or advising that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery or Colonnade Frontage designation may be combined with a Commercial Ready or Commercial Required Frontage designation.
8. Building Design Standards: Building design standards shall be established at the time of the MCP and shall be based on the following standards and criteria.
- i. Building Orientation:
 - Primary Façade Orientation: For EMU and MU-MR Character Zones, primary building facades for all non-residential and mixed use buildings shall be oriented towards a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature). For Mixed Residential at least 50% of the lots shall be oriented to a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature). For MU-MR Category 3 lots, at least 50% of the lots shall be oriented to a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature).
 - Building Frontage: Lots and blocks along Type “A” frontages shall establish a minimum standard for building frontage per the Development Standards Table for each character zone. Lots and blocks along Type “B” frontages need not specify a minimum building frontage requirement. (see illustration in the Definitions section on how building frontage is to be calculated).
 - Building Setbacks and Build-to Zones: Buildings shall be built at or close to the sidewalk along Type “A” frontages to better define the pedestrian realm. Any off-street surface parking along Type “A” frontages shall be minimized, be located in the middle of the block, and screened by a minimum 3’ high vegetative screen. The specific minimum and maximum building setbacks shall be established by the applicant at the time of MCP application per the criteria Development Standards Table for each character zone. .
 - ii. Building Façade Standards:
 - Primary facades along Type “A” frontages shall contain the main entrance of any principal building located along that street.
 - All principal buildings located on a Type “A” frontage shall also have doors, windows, and other architectural features facing that street/frontage. Non-

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residential or mixed use corner buildings shall have at least one customer entrance facing each street or a corner entrance instead of two entrances.

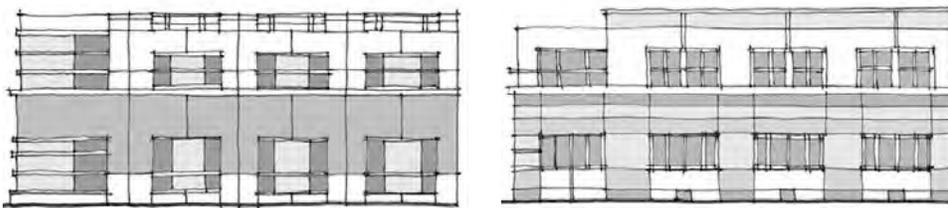
- The minimum ground floor height as measured from the finished sidewalk to the bottom of the second floor structural member for all Required and/or Recommended Commercial Ready frontages shall be 12 feet.
- The ground floor elevation of all residential buildings along a designated Type "A" frontage (attached, detached, and stacked) located less than 10' from the front property line or sidewalk shall be raised a minimum of 18" above the finished level of the public sidewalk/trail in front of the residential structures. This standard does not apply to frontages where Commercial Ready ground floors are required.
- All development shall provide ground floor windows on the building façade facing and adjacent to a street (with the exception of alleys) or facing onto a park, plaza, or other civic space. The required area of windows and doors on each street façade along a Type "A" frontage, park, square, green, plaza, or other civic space as a percentage of that façade shall be established by the applicant at the time of MCP based on the character zone criteria. The required minimum area of windows and doors on all other street facades (Type "B" frontages with the exception of alleys) may be reduced by 20% of the corresponding requirement along a Type "A" frontage façade. Darkly tinted windows and mirrored windows that block two-way visibility shall not be permitted along ground floor facades along Type "A" frontages.

9. Architectural Design Standards: To ensure compatibility of building types and to relate new buildings to the building traditions of the region, architectural design shall be regulated, governed, and enforced through architectural design standards proposed by the applicant at the time of MCP. The applicant shall submit the proposed standards as a part of the MCP application for all development in the proposed MCP. The architectural design standards shall comply with Chapter 4, Article 6 of the GDC as the basis and may be varied as necessary. The Director of Planning shall review the proposed standards for compliance with this section and the GDC and shall be a part of the approval of the MCP. Architectural design standards for any proposed development in the ~~SH 190-EC~~MUC-PD shall:

- i. specify the materials and configurations permitted for walls, roofs, openings, street furniture, and other elements;
- ii. be based on traditional/historical building precedents from the region;
- iii. include the following:
 - a. architectural compatibility among structures within the different building types included in the different character zones;
 - b. human scale design;
 - c. pedestrian use of the entire PD;
 - d. relationship to the street, to surrounding buildings, and appropriate transitions to adjoining land uses (including existing neighborhoods); and
 - e. special architectural treatment of gateways/civic buildings.
- iv. All building frontages along public and private streets (with the exception of alleys) shall break any flat, monolithic facades by including architectural elements

such as bay windows, recessed entrances, or other articulations so as to provide pedestrian interest along the street level façade including discernible and architecturally appropriate features such as, but not limited to, porches, cornices, bases, fenestration, fluted masonry, bays, recesses, arcades, display windows, unique entry areas, plazas, courts, or other treatments to create visual interest, community character, and promote a sense of pedestrian scale.

- v. All buildings in the MUC-PD character zones shall be constructed with exterior building materials and finishes of a quality to convey an impression of permanence and durability. Materials such as masonry (stone, brick, 3-step stucco) and similar durable architectural materials are allowed as primary building materials and shall be approved with an MCP.
 - vi. Non-residential buildings and sites shall be organized to group the utilitarian functions away from the public view of any street (with the exception of alleys). Delivery and loading operations, HVAC equipment, trash compacting and collection, and other utility and service functions shall be incorporated into the overall design of the buildings and landscaping. The visual and acoustic impacts of all mechanical, electrical, and communications equipment (ground and roof-mounted) shall not be visible from adjacent properties and public streets, and screening materials and landscape screens shall be architecturally compatible with and similar to the building materials of the principal structures on the lot.
10. Design Standards for Data Centers: The following standards shall apply to any street facing facades of data centers in the MUC-PD. If data centers are located along Campbell Road or Lookout Drive, then the Special Frontage standards in Section VI.A.4.i.c shall supersede the standards below.
- i. Flat, blank walls shall not be allowed. If no windows and doors are provided along street facing façades, a minimum of one of the following treatments shall be required:
 - Color and textured panels to imitate the look of windows;
 - Horizontal or vertical articulations of the building façade; or
 - Changes in color, texture, or materials to provide horizontal and/or vertical rhythms



Desired street façade treatment for Data Centers

- ii. Any screening wall or security fence along a street shall meet the following standards:
 - Screening walls shall not be completely opaque.

- They may be transparent or sem-opaque with architectural metal, wrought iron, galvanized steel or similar material or a combination of masonry columns and wrought iron with landscaping.
- Screening walls along sidewalks shall be set back a minimum of 3' to allow for landscaping.
- Screening wall height shall not exceed 10'
- To the extent possible, any frontage of such screening walls shall be minimized along Type "A" streets.

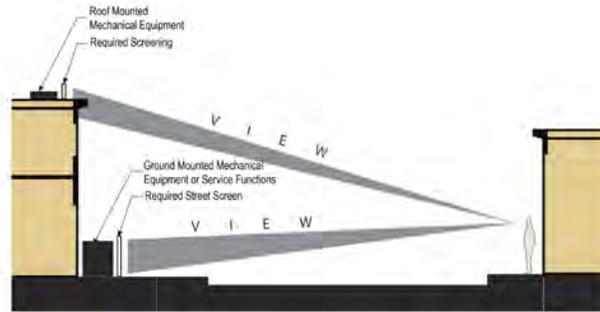


Images of desired screening/security fence design for data centers

- iii. In cases where a building may have to be setback more than the maximum setback allowed along a particular street for security or functional purposes, a screening wall or fence may be established within the build-to zone to provide for street wall definition. In such cases, the building shall be exempt from any maximum setback requirement in that character zone.
- iv. Any roof or ground mounted mechanical equipment shall be screened from view as shown in the illustration below. Design of such screening shall be architecturally integrated with the design of the building and use the same material as the primary façade material of the building.

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Required screening of roof and ground mounted mechanical equipment

- v. In lieu of the above standards, the applicant may provide and request approval of alternative design standards for building facades and screening fences along street frontages. Such requests shall be reviewed by the Director of Planning and approved if the alternative standards submitted provide the same or greater level of design treatment as it relates to the street and adjoining neighborhood context and meets the intent of the standards in this section.
11. Location and Design of Parking and Service Areas: The number of off-street parking spaces provided shall be as set forth within Section 2.51 of the GDC unless the applicant provides alternative standards for the quantity of off-street parking proposed (both automobile and bicycle parking) for the MUC-PD character zones based on an analysis of the parking demand and a transportation management study for the mix of uses proposed and availability of on-street parking in the PD at the time of MCP application. The MCP shall establish the parking standards based on documented parking demand and transportation management study provided by the applicant. The standards set forth in the GDC shall be used if the applicant does not specifically provide alternative standards. Every effort should be made to incorporate shared parking as outlined within Chapter 4, Article 2 of the GDC. In addition, the location of surface parking on individual lots shall be regulated as follows:
- i. Except as described in Section VI.A.4, surface parking lots for non-residential uses shall be located at the side or rear of a building. Specifically, the frontage of off-street surface parking lots shall be minimized along Type "A" frontage designations. If located adjacent to a Type "B" frontage or a residential use, screening shall be provided in the form of a landscaped/vegetative or combination fence which is at least 3 feet in height.
 - ii. A surface parking lot may not be adjacent to a street intersection with a Type "A" frontage or civic space such as a plaza or square, or occupy a lot that terminates a street vista.
 - iii. Shared parking facilities are encouraged for uses in the Employment Mixed Use, Retail Mixed Use, Mixed Use-Mixed Residential, and Transition character zones.
 - iv. Bicycle parking shall be provided for non-residential uses, multi-family uses, and especially for schools, parks, trails, and other recreational facilities. Bicycle parking shall be provided at a rate of 2.5% of all off-street automobile parking

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spaces provided for all non single-family residential uses (attached and detached) unless an alternative standard is established in conjunction with a parking study for specific MCP. Bicycle parking may be shared between uses and should be centrally located, easily accessible, covered/protected from the elements, lit at night, and visible from streets or parking lots. They may be located between the roadway and the building facades as long as their location does not impede pedestrian walkways.

v. Any off-street parking provided for residential uses shall be located in such a manner as to minimize the impact of garages and driveways along the residential street. All residential lots that are 49 feet or less in width shall have off-street parking and/or garages accessed from alleys. All lots 50' or wider may have front loaded garages, but in no case shall the width of the garage exceed 50% of the front façade width of the entire building. In addition, the garage shall be set back at least five (5) feet from the front façade of the home and at least twenty (20) feet from the front property line. J-swing garages may be permitted if they meet the standards above on lots 50' or wider. Shared driveways on adjoining lots are permitted on lots 50' or wider. Garage door shall be designed with the following elements:

- Garage door design shall be integrated with the architectural style of the residence
- Garage door shall be recessed into the garage façade wall by 6"
- Double garage doors shall be vertically articulated to simulate the look of two garage doors
- Garage door materials shall be limited to

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12. Design of Automobile Related Site Elements (Drive Throughs, service bays, etc.)

- i. Drive-through lanes, drive up windows, service bays, and other auto-related site elements shall not be located along or be visible from any Type "A" Frontages.
- ii. Along Type "B" Frontages, no more than 60% of the lot's frontage along a Type "B" Frontage shall be dedicated to auto-related site elements such as driveways, surface parking lots, or drive through/service bays).
- iii. Drive-through lanes shall be hidden behind a screening device (min. 3' in height) along the Type "B" frontage. There shall be no limit to the number or frontage of drive-through lanes located along alleys or internal driveways.
- iv. All off-street loading, unloading, and trash pick-up areas shall be located along alleys only. Such uses may be located along Type "B" Frontages only if the lot has no access to an alley. Any off-street loading, unloading, or trash pick-up areas shall be screened in accordance with Section VI.A.10.
- v. Driveways shall be located along Type "B" Frontages unless the site has no access to a Type "B" Frontage or alley. Two lane driveway widths shall be a maximum of 24' unless providing service access in which case they shall be no wider than 30'. Three lane driveways shall have maximum width of 36 feet and may only be located off Type "B" frontages or alleys. Driveways shall maintain a continuous and level sidewalk across the curb cut. Driveway spacing shall be per the GDC or as approved by the Director of Transportation. Driveways along

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PGBT access road are under the purview of Texas Department of Transportation (TxDOT) and shall meet TxDOT standards.

- vi. Driveways and streets shall meet the city's sight distance standards in the GDC.

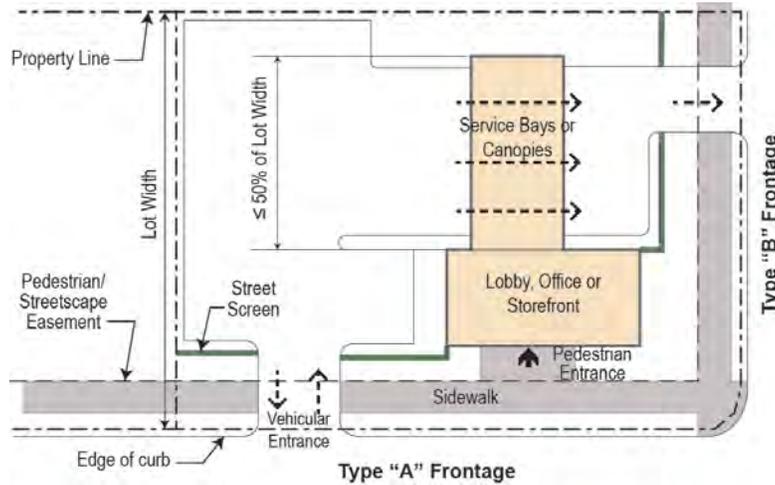


Image showing appropriate design of auto-related site elements

13. Design of Parking Structures

- i. All frontages of parking structures located on Type "A" frontages shall be lined by active edges or commercial ready frontages on the ground floor to a minimum depth of 30 feet.
- ii. Parking structure facades on all public streets (except alleys) shall be designed with both vertical (façade rhythm of 20' – 30') and horizontal (aligning with horizontal elements in the block) articulation.
- iii. All above-grade parking structures shall be designed with a distinguishable first floor, upper façades and roofs. Parking garage first floors shall be designed at human scale with pedestrian-scale elements such as awnings, canopies, window breaks and door openings. Above-grade parking garages may be designed using decorative metal elements such as ornate meshes, screens and the like, but shall not be allowed to have non-decorative steel guard cables that are visible to the public or to adjacent properties.
- iv. Where above ground structured parking is located at the perimeter of a building, it shall be screened in such a way that the majority of cars on all parking levels are not visible from adjacent buildings or a Type "A" street. Parking garage ramps shall, generally, be oriented so they are not be visible from any Type "A" street. Ramps shall not be located along the perimeter of the parking structure with frontage along a Type "A" designation. Architectural screens shall be used to articulate the façade, screen parked vehicles, and shield car bumpers and headlights.



Images showing appropriate design of parking structures

14. Landscaping Standards

- i. The purpose of landscaping in the MUC-PD is to enhance pedestrian and open space areas, to help delineate active areas from passive areas, to provide a screening buffer between pedestrians and vehicular circulation, utility functions, and incompatible adjacent developments.
- ii. The applicant shall submit a landscape concept plan in conjunction with the MCP application. The landscape concept plan establishes the design direction and general schematics for all proposed landscaping including all major aspects of the public realm such as street trees, plant/tree palette, streetscape treatments, pavement treatments, front yards, and medians; proposals for required parking lot landscaping, screening, design concepts for all open spaces, and lighting concepts.
- iii. Proposed landscaping shall meet the following standards:
 - Be pedestrian oriented.
 - Designed in such a way to not create a security or physical hazard to pedestrians, bicyclists or motorists.
 - Enhance or complement the architectural design of the mixed-use development.
 - Provide visual interest year-round. Utilize water conservation methods and drought tolerant planting where possible.
 - Shall be provided between parking lots and all adjacent sidewalks.
 - Meet the standards for Installation and Maintenance in the GDC Section 4.32.
 - Propose a plant/tree palette that mostly includes indigenous species. (Plant list in Section 4.48 of the GDC shall be used for the vegetation palette)

B. Site Development Standards by Character Zone

Standards in the MUC-PD are intended to facilitate the development of unique and pedestrian-friendly environments within the different character zones. To this end, design and development standards are intended to be tailored to create such an environment. In order to provide flexibility in use with prescription of the building form, some development standards for each MCP in the PD shall be established via the Master Concept Plan consistent with the requirements in this PD.

The following standards shall apply to development in the MUC-PD. Most standards have a numerical range and few have a specific numerical value. Due to the inapplicability of one development standard across all character zones and to encourage a diversity of development proposals, the developer shall propose the standards indicated as “Flexible” or “Permitted/Flexible” on the following table (Table 6-3) for the proposed development at the time of Master Concept Plan application submittal. But the proposed standards shall be based on the Zoning Framework Plan and standards in this PD.

**SH 190 FBC Zoning District
TABLE 6-3: DEVELOPMENT STANDARDS TABLE**

Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
1.0 Building and Site Standards					
a. Principal Building Height*	No maximum	No maximum	10 stories or 65' by right	5 stories or 40' (maximum)	3 stories or 40' (maximum)
* Building height shall be measured in number of stories. Habitable attics and mezzanines shall be excluded from the height calculation as long as they do not exceed 50% of the floor area of a typical floor in the same building.					
b. Setbacks and build-to zones**	Note about measuring setbacks: In cases where the ROW is established at or behind the curb line of streets, setbacks shall be measured from the edge of the pedestrian easement or parkway / streetscape zone or utility easement closest to the building face along that street.				
Front – Type “A” frontages [^]	Min. setback = Flexible; Max. setback = 25'	Min. setback = 5' - 15'; Max. setback = 25'	Min. setback = 5' - 20'; Max. setback = 30'	Min. setback = 5' - 20'; Max. setback = 30'	Min. setback = 5' - 20'; Max. setback = 40'
Front – SH 190	Min. setback = 20'; Max. setback = Flexible	Min. setback = 20'; Max. setback = Flexible			
Type “B” Frontage	Min. setback = 5'; Max. setback = Flexible	Min. setback = 5'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible
Side	Flexible	Flexible	Flexible	Flexible	Flexible
Rear	Flexible	Flexible	Flexible	Flexible	Flexible
**Minimum and/or maximum setback standards shall be proposed by the applicant for each character zone based on the above criteria and Development Standards established in this PD. **Specific standards for curvilinear streets may be proposed. [^] Maximum setbacks along Type “A” frontages that are along improved public space (park, plaza or other civic feature) between the street/sidewalk and building face may exceed the standards established in this table.					
c. Minimum Building Frontage ^e					
Type “A” Frontages	60%	60%	60%	60%	60%
All other Frontages	None required	None required	None required	None required	None required
^e Corner building facades at street intersections shall be built to the build-to-zone for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. This standard shall apply to any street intersection with a Type “A” Development Frontage designation (even if the cross street has a Type “B” Frontage designation).					
d. Accessory buildings	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible
Standards for accessory uses and structures shall be provided by the applicant. The standards shall result in accessory buildings being subordinate in size and scale to the principal building. Standards in Division 4, Article 5, Chapter 2 of the GDC shall apply if the applicant does not specifically provide regulations for accessory uses and structures.					
e. Principal building orientation	Buildings shall be oriented to a Type “A” frontage or toward another focal point such as a park, plaza, square, other open space or environmental feature.				
f. Building façade & architectural design standards	The applicant shall propose appropriate building façade and architectural design standards for all the character zones in the development with the application for Master Concept Plan. They shall be based on the criteria established in this PD.				
2. Block and Lot Standards					
a. Block Type	Regular (square or rectangular) Irregular blocks may be permitted only if natural topography, existing roadways, and/or vegetation prevents a rectilinear grid			Regular or irregular (square, rectangular, or curvilinear based on topography, existing roadways and vegetation)	

**SH 190 FBC Zoning District
TABLE 6-3: DEVELOPMENT STANDARDS TABLE**

Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
b. Block Perimeter	Max. block perimeter = 2,500	Max. block perimeter = 3,000'	Max. block perimeter = 3,000' (unless limited by unique site conditions such as topography and vegetation)	Max. block perimeter = 2,000' (unless limited by unique site conditions such as topography and vegetation)	Max. block perimeter = 2,000' (unless limited by unique site conditions such as topography and vegetation)
c. Type "A" Development Frontage (Frontages along civic/open spaces shall be considered Type "A" development frontage)	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 50% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 50% of all new block frontages to be designated as Type "A" Development Frontage
d. Lot Area	Flexible	Flexible	Flexible	Flexible	Flexible
e. Lot Width and Depth	Flexible	Flexible	Flexible	Flexible	Flexible
f. Minimum Lot Mix. Required	No	No	Yes (To be established to get a mix of residential building types)	No	Yes (To be established to get a mix of residential building types)
g. Maximum Lot Coverage	Flexible	Flexible	Flexible	Flexible	Flexible
* Blocks w/ more than 40% frontage along PGBT and Campbell need not meet minimum Type "A" block designation standards so long as they provide the following (i) continuous pedestrian path/trails on the major non-PGBT block faces at least 8 feet in width and shaded by trees; (ii) improved pedestrian crossings at all intersections from adjoining blocks even if private service drives; and (iii) utilize at least 5% of the 10% open space requirement for improved pedestrian gathering spaces connected through a continuous walkable environment to any adjoining development within the MUC-PD.					
3. Street Design Standards (This standard applies to all new streets, public and private, located in the SH 190 FBC Zoning District)					
Street design standards in the SH190 EC-PD shall be based upon creating a safe and inviting walking environment through an interconnected network of roads with sidewalks, street trees, street furniture, and amenities. Cul-de-sacs are prohibited unless natural features such as topography or stream corridors prevent a street connection. The right-of-way widths for streets in the SH 190 FBC shall be based on the palette of street types established in Appendix D. They are based on the ITE's Designing Walkable Urban Thoroughfares manual and NACTO's Urban Street Guide. They may be adjusted based on the specific Master Concept Plan with the approval of the City Engineer.					
a. Design speed	≤30 mph	< 25 mph	< 25 mph	< 25 mph	< 25 mph
b. Street types allowed	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Main streets iv. Residential streets: 2-lane undivided v. Commercial Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Main streets iv. Residential streets: 2-lane undivided v. Commercial Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided iv. Commercial and Residential Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided iv. Residential Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided Residential Alleys
c. Travel lane widths	Appendix D, ITE's Designing Walkable Urban Thoroughfares manual or NACTO's Urban Street Design Guide shall guide the development of street design standards and shall be established as part of the MCP with the approval of the City Engineer.				
d. Turning radii					
e. On-street Parking (along all internal streets except alleys)					
• Parallel	Permitted	Permitted	Permitted	Permitted	Permitted
• Angled (head-in or reverse angled).	Permitted	Permitted	Permitted	Permitted	Permitted
• Head in perpendicular	Not permitted	Not permitted	Not permitted	Not permitted	Not permitted

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**SH 190 FBC Zoning District
TABLE 6-3: DEVELOPMENT STANDARDS TABLE**

Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
f. Parking lane width • Parallel • Angled	8 feet 18-20 feet	8 feet 18-20 feet	8 feet 18-20 feet	8 feet 18-20 feet	8 feet 18-20 feet
g. Alleys*	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible
4. Streetscape Standards					
a. Sidewalks/Trails/ Walkways	10 feet (min. along Type “A” Frontages) 6 feet (minimum along all other streets except alleys)	6 feet (minimum)	6 feet (minimum)	6 feet (minimum)	5 feet (minimum)
b. Planter/Planting Strip Type	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Planters
c. Planter/Planting Strip width	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide planting strip
d. Street trees	Required/Flexible	Required/Flexible	Required/Flexible	Required/Flexible	Required/Flexible
The applicant shall submit a proposed street tree planting plan, including a tree palette and spacing as a part of the Landscape Concept Plan, which shall be reviewed as part of the Master Concept Plan and must be approved at time of Master Concept Plan. The requirements for the landscape concept plan are outlined in Section VI.A.14 of this PD.					
5. Open/Civic Space Standards					
a. Open/Civic Space	Required/Flexible Squares and plazas are appropriate	Required/Flexible Squares and plazas are appropriate	Required/Flexible, Squares and greens are appropriate	Required/Flexible, Squares and greens are appropriate	Required/Flexible, Squares and greens are appropriate
*Overall open/civic space allocations in the SH-190-ECMUC -PD shall be a minimum of 10% of the gross area of the entire site included in the Master Concept Plan and shall be distributed appropriately between the character zones. The location and design of appropriate open spaces shall be based on Section VI.A.6 of this PD.					
6. Parking & Screening Standards					
a. Off-street parking	The number of off-street parking spaces provided shall be as set forth within Section 2.51 of the GDC. The applicant shall may provide alternative standards for the quantity of off-street parking proposed (both automobile and bicycle parking) for the SH-190-ECMUC -PD character zones based on an analysis of the parking demand and a transportation management study for the mix of uses proposed and availability of on-street parking in the PD at the time of MCP application. The PD shall regulate the location and design of all proposed off-street parking including any structured parking proposed per Section VI.A.12 and VI.A.13.				
Parking standards in the FBC Zoning District are intended to be flexible due to the mixed use nature, shared parking opportunities, and availability of on-street parking.					
b. Off-street loading	Section 4.22 of the GDC applies unless alternative standards are provided				N/A
c. Screening 1. Trash/recycling receptacles	Required/Flexible	Required for non-residential uses Flexible for residential uses (along alleys if alleys are	Required for non-residential uses Flexible for residential uses (along alleys if alleys are	Required for non-residential uses Flexible for residential uses (along alleys if alleys are	Flexible for residential uses (along alleys if alleys are provided)

* Alleys shall be required for all residential development with lots 50 feet or less in width.

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SH 190 FBC Zoning District					
TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
		provided)	provided)	provided)	
2. Other utility equipment	See Sec. VI.A.11				
3. Loading spaces	Screening required for non-residential uses. Section 4.41 and Section 4.42 of the GDC applies for non-residential uses only unless alternative standards are provided				
4. Surface parking areas	Required/Flexible (Standards in Section 4.35 and Section 4.44 of the GDC shall apply to any surface parking located along any public street with the exception of alleys unless the applicant proposes alternative screening standards at the time of Master Concept Plan.)				
7. Landscape and Streetscape					
a. Landscaping [#]					
1. Landscape buffer between surface parking and sidewalks/trails and streets (except alleys)	Required/Flexible	Required only for non-residential uses	Required only for non-residential uses	Required only for non-residential uses	N/A
2. Parking lot minimum interior landscaping	Flexible	Flexible	Flexible	Flexible	N/A
[#] The applicant shall provide a landscape concept plan with the Master Concept Plan application that identifies landscape themes and general design approach addressing street tree planting, streetscape treatments, any required screening, parking lot landscaping, and landscaping proposed in all the identified open space areas. Information provided at the Master Concept Plan phase may be schematic meeting the design intent of the proposed development. Detailed landscaping plans shall be required at the site plan stage for all non-residential development. The requirements for the landscape concept plan are outlined in Section VI.A.14 of this Code.					
b. Lighting	Required/Flexible (As a part of the Master Concept Plan application, the applicant shall propose lighting standards that includes street light standards and other amenities as a part of the streetscape treatment plan. The landscape concept plan may be combined with a concept plan for lighting.)				
1. Street Lighting					
2. Building entrances					
3. Parking areas, trails, and streets					
8. Signs					
Flexible (Flexible signage in the SH 190 MUC-PD may be proposed by the applicant and approved by the Plan Commission as part of the Master Concept Plan application or as a separate Master Sign Plan. Signage in the SH 190 MUC-PD shall integrate the streetscape and architectural design of the district through a palette of signs that enhance the pedestrian environment and create a unique identity. If no standards are proposed by the applicant, standards in Chapter 4, Article 5 of the GDC shall apply.)					
9. Stormwater Drainage: Detention of storm water runoff is only required for drainage areas abutting the Spring Creek Forest Preserve Ecological Boundary an approximately 450 to 550-foot wide strip of property north of the SH 190 service road between Campbell and Holford Roads and / or when the development generates a runoff greater than the downstream storm sewer system is designed for.					

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VII. Definitions

Many terms used in this Section are defined in GDC. Definitions are only included here if not defined in Chapter 6 of the GDC, or if the definition for this PD differs from Chapter 6 of the GDC. In case of a conflict between the definitions under this Section and the GDC, the definitions in this section shall supersede.

Block Perimeter

Is the sum total of all block face dimensions circumscribed by public or private streets and pedestrian facilities with public access easements per the requirements in this PD.

Build-to Zone (BTZ)

Is the area between the minimum and maximum front setbacks from the edge of the pedestrian easement closest to the building facade. The principal building façade line shall be located within this area.

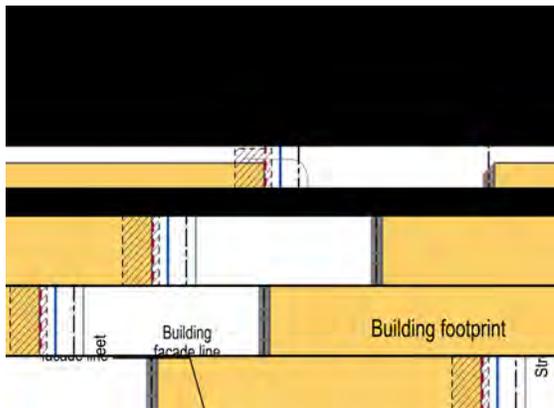
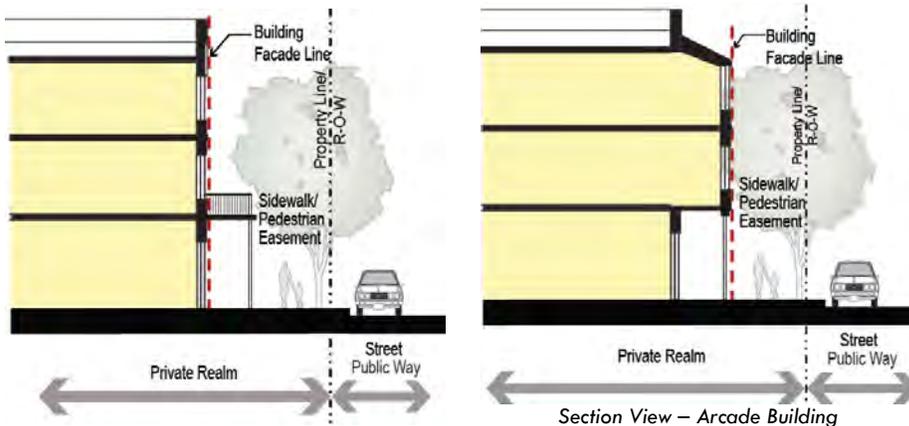


Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Façade Line

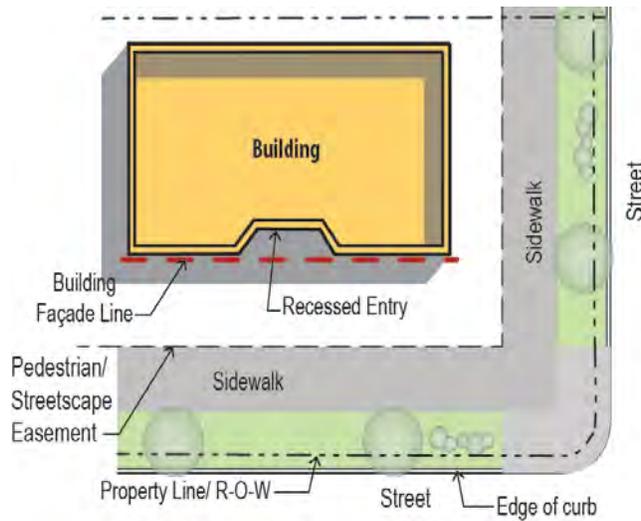
Is the location of the vertical plane of a building along a street frontage.



Section View – Arcade Building

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Section View – Gallery Building



Plan View
Building Façade Line Illustrations

Building Frontage

Is the percentage of a building's façade line that is required to be located within the Build-to Zone (BTZ) as a proportion of the lot's width along the fronting public street. Required driveways, stairs to access entrances, parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall count towards the required building frontage.

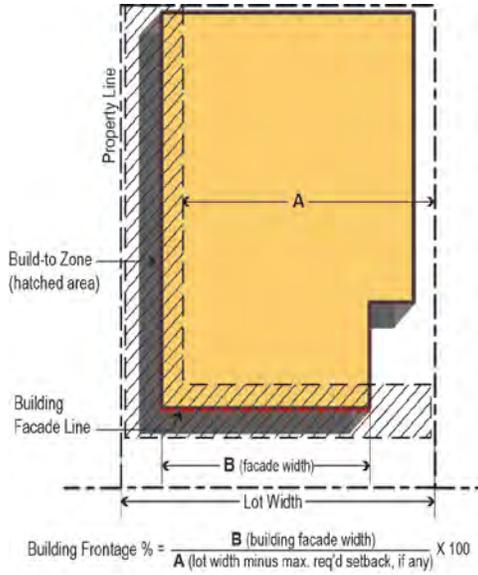


Image showing Building Frontage calculation

Building Step-back

Building step-back is the setting back of the building façade line away from the street at a specific floor or height.

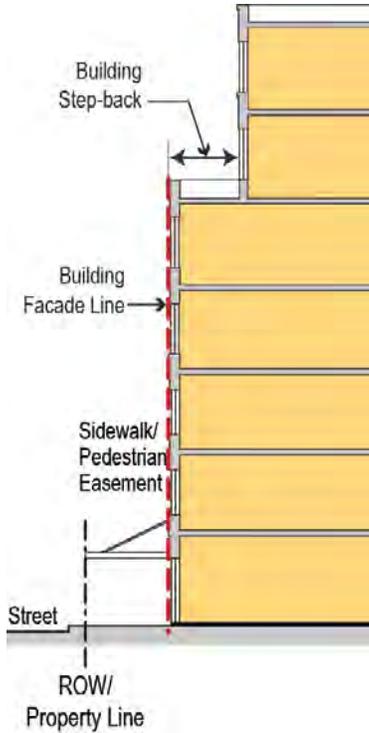


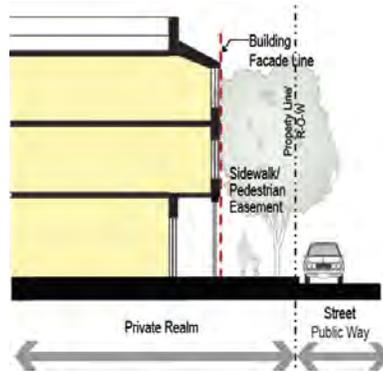
Illustration of a Building Step-back

Colonnade

Is a portion of the main façade of the building that is at or near the property line and a colonnade supports the upper floors of the building. Colonnades are intended for buildings with ground floor commercial or retail uses. The ground floor area within the colonnade may be conditioned or non-conditioned space.



Images of colonnade buildings



Images of colonnade buildings

Character Zone

Means an area within any SH 190 MUC-PD District that is intended to preserve and/or create an urban form that is distinct from other areas. Arrangement and allocation of the Character Zones are in the Zoning Framework Plan.

Commercial Use or Mixed Use Building

Means a building in which at least the ground floor of the building is built to Commercial Ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready or Commercial Required

Means a ground floor space constructed with appropriate building orientation, entrance and window treatment and floor-to-floor height in order to accommodate ground floor retail/commercial uses (including but not limited to commercial, retail, restaurant, entertainment, and lobbies for civic, hotel, or multi-family uses). Standards for Commercial Ready or Active Edge frontages are to be established based on the requirements of this PD. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial Ready space, the space must comply with all building and construction Sections for commercial uses. The intent of Commercial Ready or Commercial Required space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Comprehensive Plan:

Is Envision Garland, the City of Garland's comprehensive framework for informed decision making and establishes the blueprint for the long-term growth and development of the City.

Data Center:

Is a facility used to house computer systems and associated components, such as telecommunications and storage systems. It generally includes redundant or backup power supplies, redundant data communications connections, environmental controls (e.g., air conditioning, fire suppression) and various security devices.

Director of Planning

Shall be the City of Garland Director of Planning or his/her designee.

Dwelling, Single-Family Attached (Townhouse)

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One of a group of no less than three nor more than six attached dwelling units, separated from each other by fire-rated walls in compliance with the City's building codes or separated from each other by no more than 3-5 feet. Each dwelling unit occupies its own separately platted lot and may be two or more stories in height. Does not include Dwelling, Multi-Family or Dwelling, Single-Family Detached.

Encroachment

Means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public right-of-way, or above a height limit.

Façade Area

Means the surface area of a building's elevation (including all floors) not counting minor indentations fronting a particular street. Ground floor façade area is the surface area of a building's ground floor elevation not counting minor indentations fronting a particular street. Upper floor façade area is the surface area of a building's upper floor elevations not counting minor indentations fronting a particular street.

Frontage Designation

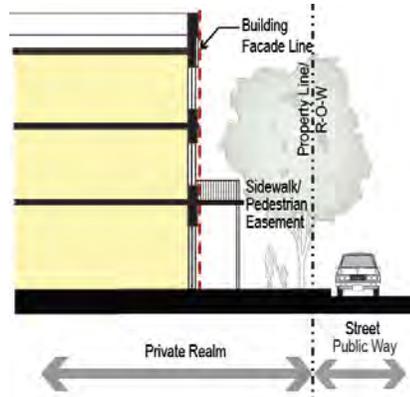
As identified on the approved Master Concept Plan, future streets in the SH 190 MUC-PD Districts are designated as Type "A" or Type "B". Each frontage designation establishes a certain development context in order to improve walkability and pedestrian orientation within the district.

Gallery

Is a roofed promenade or canopy, especially one extending along the wall of a building and supported by arches or columns on the outer side. The gallery space is unenclosed (non-conditioned) space and may be 2 or more stories tall.



Images of Galleries



ITE's Designing Walkable Urban Thoroughfares Manual

Daisa, James M., *Designing walkable urban thoroughfares: a context sensitive approach*. Washington, DC: Institute of Transportation Engineers. (most recent edition)

Live-Work Unit

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Means a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by the TDS in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Master Concept Plan (MCP):

A Master Concept Plan is a detailed plan for development that establishes the standards and specifications for all the critical elements of the built environment based on a specific development vision per all the requirements of this Section.

Minor Amendments

Means a requested amendment to an approved plan (site plan or MCP) per Table 4-1__. The Director of Planning shall have the authority to approve or approve with conditions or deny a minor amendment to an approved plan.

Multi-Unit home

Means a Residential building containing between 2 and 6 units either as leasable units or individually owned. Architecturally, multi-unit homes are designed to appear similar to single-family homes with only one or two primary entrances per street frontage. Additional entrances are permitted along other non-street facing facades.

NACTO's Urban Street Design Guide

Urban Street Design Guide. New York City: National Association of City Transportation Officials. (most recent edition)

Open Space

Is publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, playgrounds, squares, etc. provided to meet the standards in of this PD. Open space may be privately or publicly owned and/or maintained.

Primary Entrance

Means the public entrance located along the front of a building facing a street or sidewalk and provides access from the public sidewalk to the building. It is different from a secondary entrance which may be located at the side or rear of a building providing private controlled access into the building from a sidewalk, parking or service area.

Residential Use Building

Means a building that is built to accommodate only residential uses on all floors of the building such as a detached single family home, attached single family home (i.e. townhome), two family home (i.e. duplex), multiple family (3 or more), apartment building (under single ownership or under multiple owners within a condominium regime).

Sample Illustrative Plan

is to provide guidance on how to translate the Zoning Framework Plan into a Master Concept Plan that establishes the details required to develop under this PD including, but not limited to, the allocation of component zones, layout of streets and open spaces, and mix and intensity of uses.

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These Sample Illustrative Plans will then be the basis to create final Master Concept Plan by property owners/developers at the time of new development.

Service-related site functions

Means all uses that support the principal use on the site including parking access, garbage/trash collection, utility meters and equipment, loading/unloading areas, and similar uses.

Street Screen

Is a freestanding wall or living fence or combination fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Wall

Indicates the creation of a “wall” or a sense of enclosure along the street with buildings placed immediately adjacent to the street/sidewalk. A street wall has a “void” if there is a surface parking lot or service area adjacent to the sidewalk/street.

Type 1 – 2 Applications:

Are the different types of applications with specific review and approval processes tailored to the scope of proposed development within the SH 190 MUC-PD. The application and development review flow charts in Appendix C summarizes the different application types and their respective processes.

Type “A” Frontage

Means the block frontages identified as such on the adopted MCP. Type “A” frontages are the primary pedestrian frontages and buildings along Type “A” frontages shall be held to the highest standard of pedestrian-oriented design.

Type “B” Frontage

Means the block frontages identified as such on the adopted MCP. Type “B” frontages are intended to primarily accommodate access to parking, service, utility, and other auto-related functions

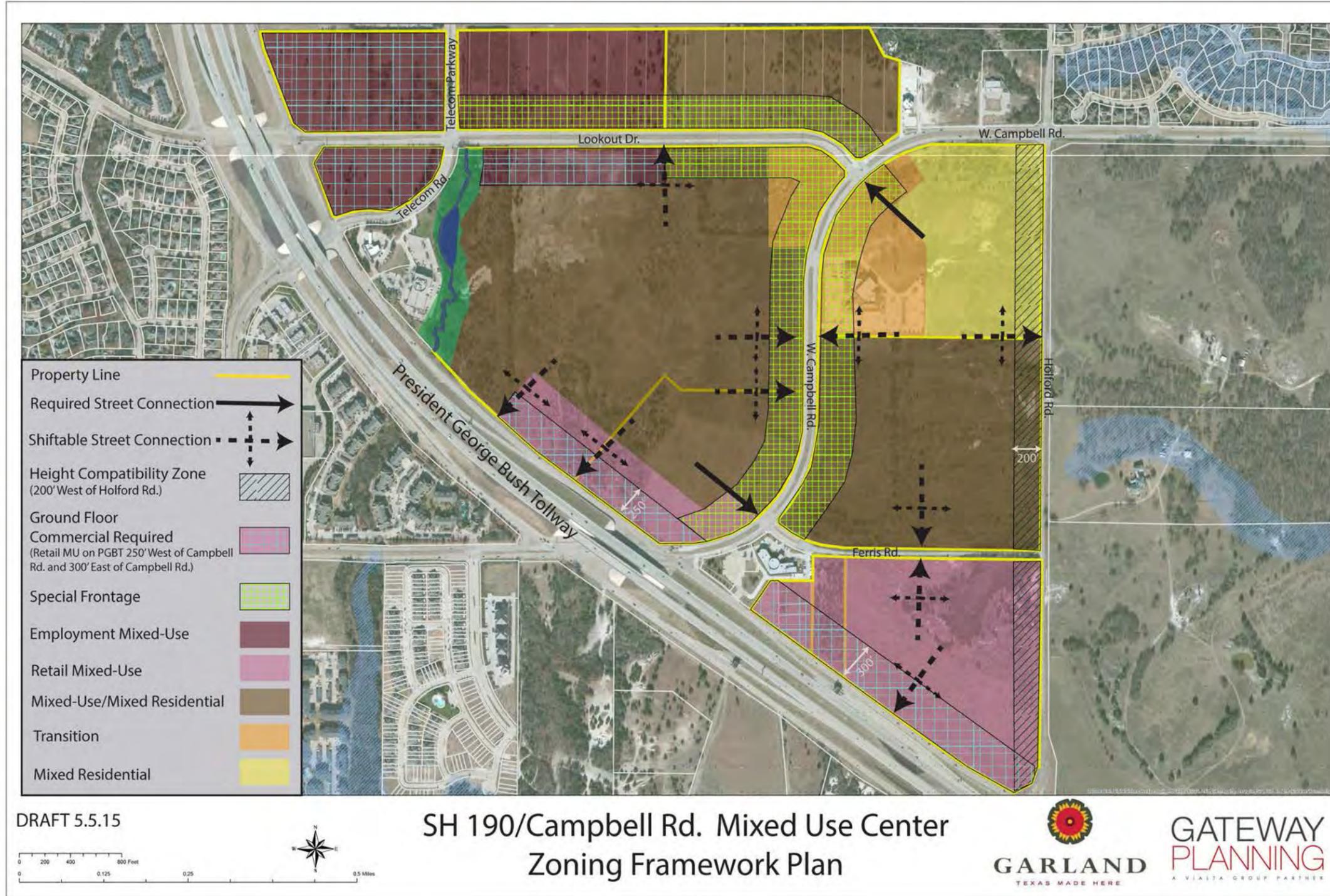
Zoning Framework Plan

Shall be the Zoning Map for the SH 190 MUC-PD which shall establish the boundaries of the different character zones, major roadway network, and open space locations.

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Appendix A
Zoning Framework Plan

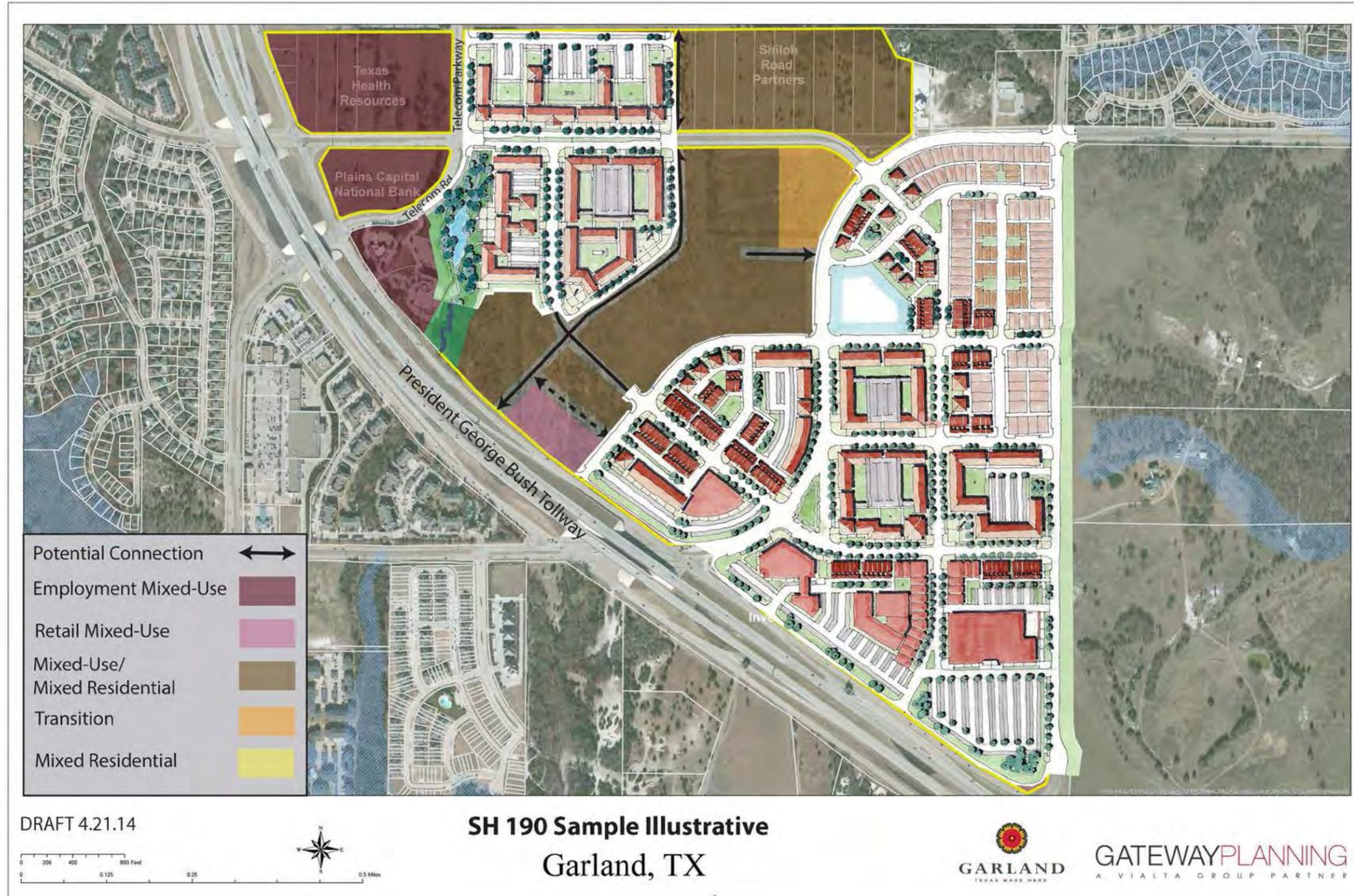
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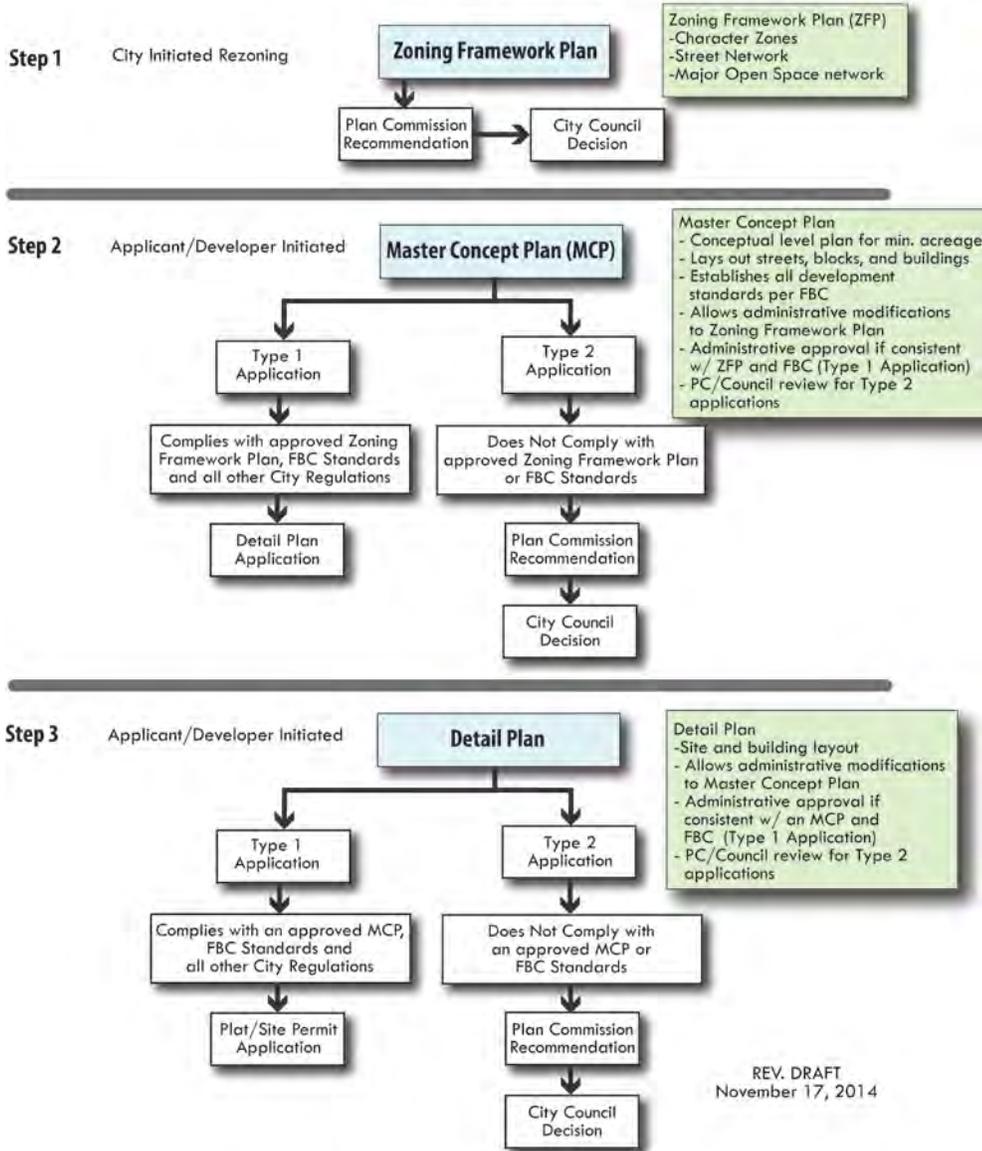
Appendix B
Sample Illustrative Plans

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Appendix C
Flow Chart

SH 190 FBC Structure and Review Process

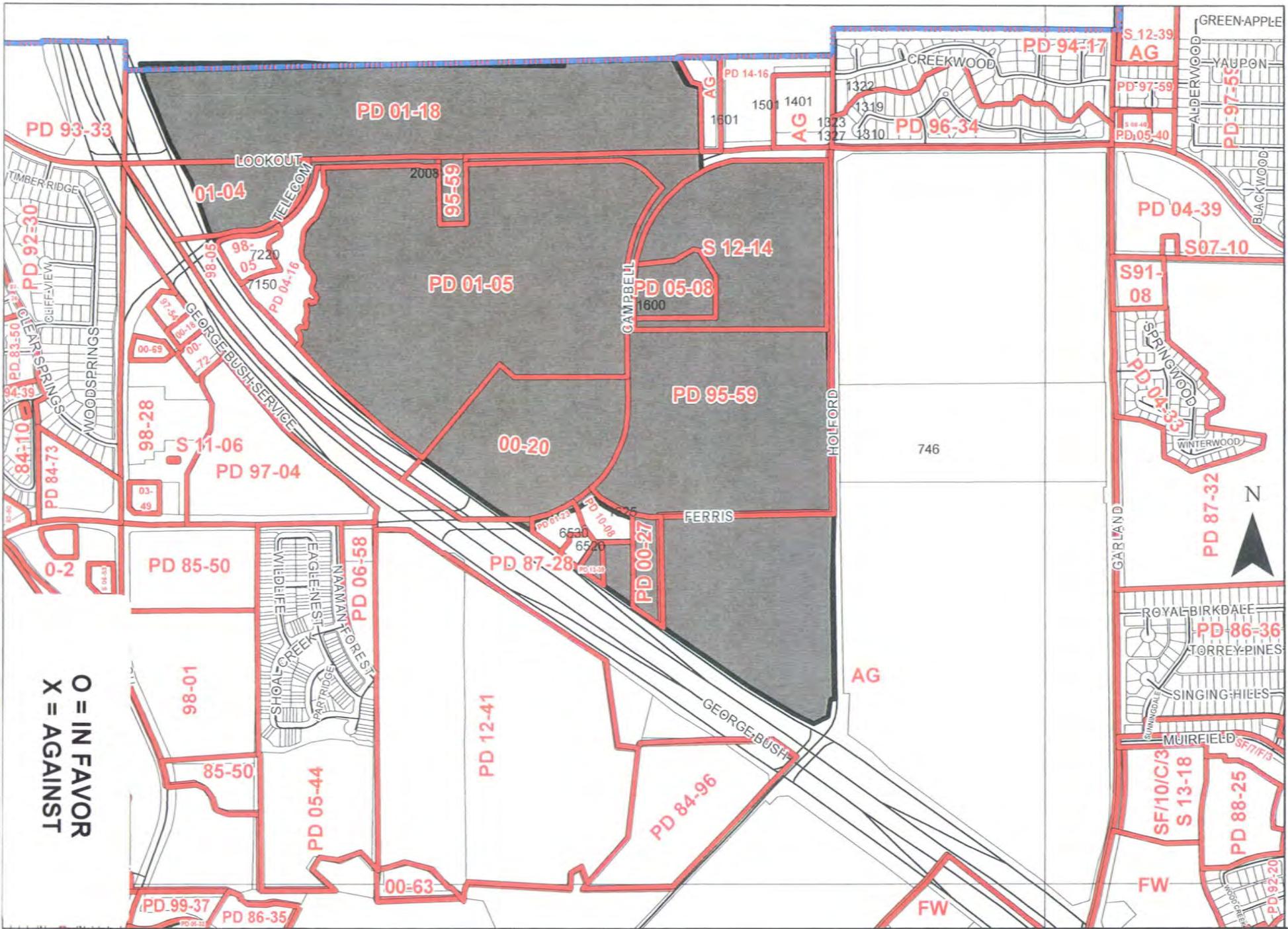


Appendix D
Street Design Standards and Typical Cross Sections

190 Campbell Road - Mixed Use Center

Street Type	Residential Alley (20' ROW)	Commercial Alley (20'-35' ROW)		Residential Street (50'-60' ROW)		Commercial Street (35'-70' ROW)					Avenue (50'-80' ROW)					Boulevard (70'-110' ROW)					Parkway (100'- 110' ROW)			
	1	1	2	2	2	2	2	2	2	2	2-3	2-3	2-3	2-3	2-3	4	4	4	4	4	4-6	4-6	4-6	4-6
Number of Lanes	1	1	2	2	2	2	2	2	2	2	2-3	2-3	2-3	2-3	2-3	4	4	4	4	4	4-6	4-6	4-6	4-6
Lane Width (ft.)	10	12	12	13	18	13	13	13	13	13	12	12	12	12	12	12	12	12	12	12	11	11	11	11
Two Way (ft.)	-	-	24	26	36	26	26	26	26	26	36	36	36	36	36	48	48	48	48	48	66	66	66	66
Median (Y/N)	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y
Width (Ft.)																14	14	14	14	14	14	14	14	14
On Street Parking?	N	N	N	N	N	N	N	Y	Y	Y	N	N	Y	Y	Y	N	N	Y	Y	N	N	N	N	N
Parallel (8'x22') (ft.)								16							16					16				
Angled (19') (ft.)									36					36					36					
Head-In (18') (ft.)										36					36									
Parkway (from face of curb to ROW) each side	5	4	5.5	12	12	4.5	4	4	4	4	7	4	4	4	4	4	6	6	6	9	10	10	10	10
On Street Bike Lanes	N	N	N	N	N	N	Y	N	N	N	N	Y	N	N	N	N	Y	N	N	N	N	N	N	N
Width (Ft.) <u>(Total ROW Req'd)</u>							16					16					16							
ROW (ft.) (minimum)	20	20	35	50	60	35	50	50	70	70	50	60	60	80	80	70	90	90	110	80	100	100	100	100
Design Speed	<20mph (10mph)	<20mph (10mph)	<20mph (10mph)	30-20 mph	30-20 mph	30-25 mph	30-25 mph	30-25 mph	30-25 mph	30-25 mph	30-35 mph	30-35 mph	30-35 mph	30-35 mph	30-35 mph	35-40 mph	35-40 mph	35-40 mph	35-40 mph	35-40 mph	40-45 mph	40-45 mph	40-45 mph	40-45 mph
Right Turn Lane? *	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y
Width (Ft.)																10	10	10	10	10	10	10	10	10
ROW (ft.) with right turn lane *																80	100	100	120	90	110	110	110	110
Landscape/Furnishing Zone (ft.)	3-5	5	5																					
Sidewalk (ft.) (minimum)	-	-	-	4	4	8-12	8-12	8-12	8-12	8-12	6	6	6	6	6	6	6	6	6	6	6	6	6	6

*Fire Lane Exception
** Other Criteria Apply; for any other bike facility discuss with City



O = IN FAVOR
X = AGAINST

0 450 900 Feet
1 inch = 900 feet

ZONING Z 15-20

INDICATES AREA OF REQUEST



Masterplan

Chairman Clarence Scott Roberts
200 N. 5th Street
Garland City Hall
Garland, Texas 75045

May 11, 2015

Re: *SH 190/Campbell Mixed Use Center PD*

Dear Chairman Roberts,

Your planning efforts that are underway surely will result in increased vibrancy in this important undeveloped section of Garland. The plan's efforts to provide structure for future development that ensures a mix of uses and encourages job growth are commendable.

Providing appropriate utilities for the area is equally important to future development. To that end, ONCOR, our client, and Garland Power & Light (GPL) have worked for seven years on providing an electrical substation for the area. This facility is absolutely necessary to provide the reliable service mandated by the Public Utility Commission of Texas.

In our firm's experience, Development Codes often fail to take into account the needs of utility providers. Moreover, form-based Codes can make development of substations difficult. In your planning efforts, I would ask that the following items be given consideration for utility use. I understand it would require a special accommodation for public utilities, but this seems reasonable and appropriate given that the general public gets the benefit of the facility.

- Utilities should be exempt from requirements of block face length.
- Utilities should be exempt from streetscape and design elements.
- Utilities should be exempt from build to line requirements.
- Landscaping requirements must take into account that both overhead transmission and distribution lines may prevent safe planting of materials.
- Be mindful that substations are not buildings and do not have a building form.

I hope that you take the needs of the electricity providers into account.

Cordially,

Dallas Cothrum

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE 15-20

Northeast of PGBT/SH 190, west of Holford Road, and south of the city limits line

- I. **Statement of Purpose:** The purpose of this Planned Development District is to allow for a mix of uses subject to conditions.
- II. **Statement of Effect:** This Planned Development District shall not affect any regulation found in the Garland Development Code (GDC), Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations in Ordinance 6773 --- Garland Development Code (GDC), are included by reference and shall apply, except as otherwise specified by this ordinance.
- V. **Specific Regulations:**
 - A. Regulating Plan: All uses, conditions, processes and standards shall be as provided within Exhibit C.