



AGENDA

**REGULAR MEETING OF THE CITY COUNCIL
City of Garland
Duckworth Building, Goldie Locke Room
217 North Fifth Street
Garland, Texas
August 19, 2014
7:00 p.m.**

The City Council extends to each visitor a sincere welcome. We value your interest in your community and your participation in the meetings of this governing body. Regular meetings of the City Council are held the 1st and 3rd Tuesdays of each month, beginning at 7:00 p.m.; the City Council meets regularly in work sessions at 6:00 p.m. the Monday preceding each regular meeting.

The Duckworth Building is wheelchair accessible. Special parking is available on the north side of the building on Austin Street and may be accessed by a sloped ramp from the street to the door facing Fifth Street. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. **BRILLE IS NOT AVAILABLE.**

CITY COUNCIL GOALS 2020

(Adopted by Resolution No. 9402 on December 20, 2005)

- **Sustainable quality development and redevelopment**
- **Financially stable government with tax base that supports community needs**
- **Defends rightful powers of municipalities**
- **Fully informed and engaged citizenry**
- **Consistent delivery of reliable City services**
- **Safe, family-friendly neighborhoods**
- **Embrace diversity**

**MAYORAL PROCLAMATIONS,
RECOGNITIONS, AND ANNOUNCEMENTS**

The Mayor may present proclamations and recognize attendees or award winners, and may make announcements regarding upcoming City events and matters of interest to citizens. There will be no Council deliberations or votes on these matters.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of Council, without discussion. Council has been briefed on these items at a previous work session and approval of the consent agenda authorizes the City Manager to implement each item. The Mayor will announce the agenda and provide an opportunity for members of the audience and the City Council to request that an item be removed and considered separately.

1. Consider approval of the minutes of the August 5, 2014 Regular Meeting.

2. Consider approval of the following bids:

a. 345 kV Circuit Breaker Replacement Bid No. 4442-14

Chapman Construction Co., LP	\$634,925.00
Contingency	<u>63,925.00</u>
	<u>\$698,850.00</u>

This request is for construction associated with the installation of 345 kV circuit breakers at the Gibbons Creek Substation as part of the TMPA Breaker Replacement Project. Due to the complexity of the project, an optional contingency is included for unforeseen changes in the requirements.

b. Wastewater Treatment Master Plan Bid No. 4654-14

Alan Plummer Associates, Inc.	\$334,507.00
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This request is for professional services to evaluate the City of Garland's Rowlett and Duck Creek Wastewater Treatment facilities to identify improvements necessary to treat wastewater flows through 2040.

c. Flatbed Trucks

Bid No. 4656-14

Caldwell Country Ford

\$132,040.00

This request is for the purchase of four flatbed trucks to be utilized by the Street Department in their daily operations.

3. Public hearings were previously conducted for the following zoning cases. Council approved the requests and instructed staff to bring forth the following ordinances for consideration.

a. Zoning File No. 14-27, Primax Properties, LLC.

Consider an ordinance amending the zoning laws of the City of Garland by approving an amendment of Planned Development District 86-1 for Retail Uses and a Detail Plan for Retail Sales/Personal Service on a 0.840-acre tract of land located on the east side of Plano Road, approximately 200 feet south of the intersection of Plano Road and Walnut Street.

b. Zoning File No. 14-29, Linear Architecture

Consider an ordinance amending the zoning laws of the City of Garland by approving a Specific Use Permit for a Restaurant with Drive-through on a 0.912-acre tract of land located at 5235 North Garland Avenue.

4. Consider a resolution approving and funding the 2014 Cycle 2 Neighborhood Vitality Matching Grant projects.

At the August 4, 2014 Work Session, Council considered the approval of three Neighborhood Vitality Matching Grant applications for the Town North Village HOA, Place One HOA, and Ridgewood Park Neighborhood Association. The Community Services Committee previously reviewed these applications and recommended approval of all three.

5. Consider an ordinance amending Chapter 33, "Transportation," of the Code of Ordinances of the City of Garland.

At the August 4, 2014 Work Session, Council considered a request for parking restrictions on W. Avenue C between Tenth Street and Eleventh Street. The proposed restrictions would be from 7 to 9 a.m. and 2 to 4 p.m. on school days only.

6. **Consider by minute action authorizing the City Manager to execute a design contract with Kimley-Horn and Associates, Inc.**

Funding for the Stonewall Street, S. Country Club Road, and Rollingridge Lane water, wastewater, and paving improvements project was included in the approved 2014 Capital Improvement Program. Staff has negotiated a contract with a local firm, Kimley-Horn and Associates, Inc., in an estimated amount of \$157,000 for the design of the replacement of existing water and wastewater mains along with pavement improvements.

7. **Consider a resolution approving the contingency contract executed by the City Manager and Exceptional Enterprises, LLC.**

At the August 18, 2014 Work Session, Council was scheduled to consider a request by Garland Power & Light (GP&L) to purchase a 6,000 sq. ft. office building on a 0.9637-acre tract of land located at 510 W. Avenue B in Garland for a not-to-exceed amount of \$545,000 in order to accommodate and consolidate the offices of GP&L's transmission engineering and compliance personnel.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the City Secretary before speaking (cards located at the entrance to the Council Chambers). The Mayor will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

8. **Hold public hearings on the following zoning cases:**
 - a. **Consider the application of Sargent Design requesting approval of 1) an amendment to Planned Development District 93-10 for a Complex for the Elderly and 2) a Detail Plan for an Independent Senior Living Facility. The property is located at 2101 W. Walnut Street. (File 14-17, District 8)**

The proposal is for approval of the Planned Development and a Detail Plan to redevelop the property with a 26-unit Independent Living Facility.

- b. Consider the application of Eric Johnson requesting approval of 1) an amendment of Planned Development District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan. The property is located at 1080 East Campbell Road. (File 14-28, District 1)**

The proposal is for approval of an amended Planned Development and Concept Plan to develop the site with one single family residence.

- c. Consider the application of Harlan Properties, Inc. requesting approval of 1) a change in zoning from Shopping Center District to a Planned Development District for Townhouses, 2) a Concept Plan, 3) a variance to Section 15A-1000 of the Zoning Ordinance regarding exterior materials, and 4) a waiver to Section 31.27 of the Code of Ordinances regarding the requirement of alleys. The property is located northwest of the intersection of Belt Line Road and North Garland Avenue. (File 14-31, District 7)**

The proposal is for approval of a change of zoning and Concept Plan to develop the property with a townhouse development consisting of approximately 127 lots, subject to Detail Plan approval.

- 9. Hold a public hearing regarding the 2014-15 Proposed Budget.**

Section 5, Article VII, of the City Charter requires that a public hearing be held on the Proposed Budget for the coming fiscal year. At the public hearing, all interested persons shall be given an opportunity to be heard for or against any item contained in the Proposed Budget.

- 10. Hold a public hearing regarding the Proposed 2014-15 Tax Rate.**

The Texas Property Tax Code, Section 26.05(d), provides that a governing body may not adopt a tax rate that exceeds the lower of the rollback tax rate or the effective rate until the governing body has held two public hearings on the proposed tax rate and has otherwise complied with Section 26.06 and Section 26.065. The 2014-15 Proposed Budget is based on a tax rate of 72.38 cents per \$100 of valuation, which does exceed the effective tax rate of 68.43 cents due to a 3.7% increase in taxable values and a proposed 1.92-cent increase in the tax rate. A second public hearing is scheduled for Thursday, August 28, 2014, at 7:00 p.m.

11. Consider appointments to Boards and Commissions.

Board members are selected for two-year terms by the City Council in August. Terms are usually staggered whereby at least half of the membership has board experience. Board members are appointed based on qualifications.

- *Aquila Runyan – Garland Youth Council (District 5)*
- *Max Moeck – Garland Youth Council (District 5)*
- *Louis A. Moore, Jr. – Plan Commission (District 2)*
- *John David O’Hara – Plan Commission (District 4)*

12. Citizen comments.

Persons wishing to address issues not on the agenda may have three minutes to address Council at this time. Council is prohibited from discussing any item not posted according to the Texas Open Meetings Act.

13. Adjourn.

All Regular Council meetings are broadcast live on CGTV, Time Warner Cable Channel 16, and Verizon FIOS TV 44. Meetings are rebroadcast at 9:00 a.m. and 7:00 p.m. on Wednesday-Sunday and at 7:30 p.m. on Thursday. Live streaming and on-demand videos of the meetings are also available online at www.garlandtx.gov. Copies of the meetings can be purchased through the City Secretary’s Office – audio CD’s are \$1 each and DVD’s are \$3 each.

The City Council of the City of Garland convened in regular session at 7:00 p.m. on Tuesday, August 5, 2014, in the Goldie Locke Room, 217 North Fifth Street, Garland, Texas, with the following members present:

Mayor	Douglas Athas
Mayor Pro Tem	Jim Cahill
Deputy Mayor Pro Tem	Marvin 'Tim' Campbell
Council Member	Anita Goebel
Council Member	Stephen Stanley
Council Member	B. J. Williams
Council Member	Billy Mack Williams
Council Member	Lori Barnett Dodson
Council Member	Scott LeMay

STAFF PRESENT: City Manager William E. Dollar
City Attorney Brad Neighbor
City Secretary Lisa Palomba

CALL TO ORDER: Mayor Athas called the meeting to order. Mayor Pro Tem Cahill led the Invocation and the Pledge of Allegiance.

ANNOUNCEMENTS: 1) The Garland Animal Shelter will participate in the Empty the Shelter Adoption Event on August 16, 2014 from 10 a.m. to 5 p.m. All pet adoptions will be free during this time; 2) The 9th Annual Dog-a-poolooza pool party for dogs will be held at Holford pool from 8 a.m. to 1 p.m. Details are available at GarlandAnimalServices.org; and 3) Register for Garland E-news at GarlandTx.gov and click on the E-News link at the top of the page.

CONSENT AGENDA: All items marked with asterisks (**) on the consent agenda were voted on at the beginning of the meeting. Mayor Athas noted that Item 6 is pulled from the Consent Agenda for individual consideration at the request of Council Member Stanley. A motion was made by Mayor Pro Tem Cahill, seconded by Council Member LeMay, to approve items: 1; 2a; 2b; 2c; 2d; 2e; 2f; 2g; 2h; 2i; 2j; 3a; 3b; 3c; 4; and 5. A vote was cast and the motion carried with 9 ayes, 0 nays.

1. APPROVED** Minutes of the July 15, 2014 Regular Meeting.

2a. APPROVED** Bid No. 4467-14 to Polydyne, Inc. in the amount of \$291,312.56 for bulk polymer for the conditioning treatment of wastewater sludge.

- 2b. APPROVED** Bid No. 4488-14 to Mel's Electric, L.P. in the amount of \$662,861.25 to provide signal installation and modernization services on an as-needed basis. Services will include new signal construction, retrofitting existing signals, underground installations, and other related items as required.
- 2c. APPROVED** Bid No. 4608-14 to Convergent Technologies, LLC. in the amount of \$261,772.02 for the replacement of the outdated video surveillance management system and camera equipment in the Police Department, Jail, Municipal Court, and Police Property Room.
- 2d. APPROVED** Bid No. 4446-14 to Alfa Laval, Inc. in the amount of \$2,057,364.00 for the replacement of existing belt filter presses that have been in operation at the Rowlett Creek Wastewater Treatment Plant for more than 25 years with centrifuge for greater capacity and improved odor abatement.
- 2e. APPROVED** Bid No. 4475-14 to Electrical Power Products in the amount of \$119,950.00 for the purchase of replacement breaker relay panels for the GP&L Olinger to Ben Davis Breaker 8130, the Olinger to Wylie Switchyard Breaker 8170, and the Apollo-East Richardson Breaker 8160.
- 2f. APPROVED** Bid No. 4518-14 to DynaGrid Foundation Group, LLC in the amount of \$1,369,000.00 with an optional contingency of \$137,000.00 for a total award of \$1,506,000.00 to provide construction labor and equipment for the Wynn Joyce Substation rebuild. A contingency is included for any unforeseen additional work that may be required.
- 2g. APPROVED** Bid No. 4532-14 to Mitsubishi Electric in the amount of \$174,870.00 for the purchase of two 145kV 3000A 50kA gas circuit breakers as part of the Kraft Substation Loop Capital Improvement Project.
- 2h. APPROVED** Bid No. 4556-14 to Schweitzer Engineering Laboratories, Inc. in the amount of \$133,177.00 for the purchase of a factory-fabricated communications building with landing to be installed at the Wylie Substation.
- 2i. APPROVED** Bid No. 4585-14 to Brodart Co. in the amount of \$670,000.00 for a contract that allows the library to select and purchase print library books to meet the needs of

patrons. The contract includes the cataloging, inventorying, and physical processing of a majority of the books.

- 2j. APPROVED** Bid No. 4600-14 to Caldwell Country Ford in the amount of \$343,097.45 for the purchase of 10 utility and pickup trucks to be utilized by the Water Department and GP&L in their daily operations.
- 3a. APPROVED** Ordinance No. 6714 amending the zoning laws of the City of Garland by approving a Specific Use Permit for an Antenna, Commercial Type 2 on a 0.0826-acre tract of land located at 1880 Holford Road. (Zoning File No. 14-24, Vincent Gerard & Associates)
- 3b. APPROVED** Ordinance No. 6715 amending the zoning laws of the City of Garland by approving an amendment of Planned Development District 10-06 for Freeway Uses, an amendment of a Concept Plan, and a Detail Plan for a Restaurant with Drive-through on a 0.93-acre tract of land located east of 150 Town Center Boulevard. (Zoning File No. 14-25, CEI Engineering Associates, Inc.)
- 3c. APPROVED** Ordinance No. 6716 amending the zoning laws of the City of Garland by approving an amendment to Planned Development District 09-28 for Single Family Uses on a 14.01-acre tract of land located south of Campbell Road and west of Brand Road. (Zoning File No. 14-26, Oaks at Firewheel, LP)
4. APPROVED** Resolution No. 10155 authorizing a Texas Department of Transportation Selective Traffic Enforcement Program (STEP) – Single Year – 2015 Comprehensive Grant in the amount of \$393,719.
5. APPROVED** Minute action authorizing the City Manager to execute Change Order No. 1 with Tri-Con Services, Inc., in the amount of \$363,811.62.
6. PULLED Consider minute action authorizing the City Manager to execute a change order in the amount of \$49,905 with Gateway Planning. This item was pulled for individual consideration.

ITEMS FOR INDIVIDUAL CONSIDERATION

6. APPROVED Managing Director of Development Services Neil Montgomery provided background information related to the proposed change order in the amount of \$49,905 with Gateway Planning for the land use and entitlement study for the property located around the intersection of Campbell Road and President George Bush Turnpike. This change order is required to complete the first phase of this project. Discussion was held among council members. Deputy Mayor Pro Tem Campbell made a motion, seconded by Council Member Goebel, to approve by minute action authorizing the City Manager to execute a change order in the amount of \$49,905 with Gateway Planning. A vote was cast and the motion carried with 7 ayes, 2 nays (Stanley, Dodson).
7. PUBLIC HEARING Items 7a and 7b were considered together and voted upon in one motion. Paul Mayer, representing the Garland Economic Development Partnership, presented to answer questions regarding the request by La Fabrica, LLC for the following: a) an ordinance designating an area as a reinvestment zone for commercial/industrial tax abatement; making certain findings thereon; authorizing the City Manager to execute an agreement with the applicant regarding the reinvestment zone; and b) approve a resolution authorizing the City Manager to execute a tax abatement agreement.
- Mayor Athas opened the public hearing for comment regarding items 7a and 7b. No one spoke. Mayor Athas closed the public hearing.
- Council Member Stanley moved to approve, seconded by Council Member Billy Mack Williams, Items 7a and 7 b. A vote was cast and the motion carried with 9 ayes, 0 nays.
- 7a. APPROVED Ordinance No. 6717 designating an area as a reinvestment zone for commercial/industrial tax abatement; making certain finding thereon; authorizing the City Manager to execute an agreement with the applicant regarding the reinvestment zone.

7b. APPROVED Resolution No. 10156 approving the City Manager to execute a tax abatement agreement.

8. PRESENTED City Manager William E. Dollar formally presented the Proposed Budget for the 2014-2015 Fiscal Year.

9. APPROVED Mayor Pro Tem Cahill moved, seconded by Council Member Stanley, that an item be placed on the Council Agenda for September 2, 2014, calling for the adoption of a tax rate equaling 72.38 cents per \$100 of valuation for the fiscal year beginning October 1, 2014. A vote was cast and the motion carried with 7 ayes, 2 nays (Athas, Goebel).

PH SCHEDULED Mayor Athas then called for two Public Hearings to be held on the proposed ad valorem tax rate of 72.38 cents per \$100 valuation – which is scheduled for adoption on September 2, 2014 at 7:00 p.m. in the Duckworth Building, Goldie Locke Room, 217 N. Fifth Street, Garland, Texas. The Public Hearings will be scheduled on:

(1) Tuesday, August 19, 2014 at 7:00 p.m. at Duckworth Building, Goldie Locke Room, 217 North Fifth Street, Garland, Texas.

(2) Thursday, August 28, 2014, also at 7:00 p.m. at Duckworth Building, Goldie Locke Room, 217 North Fifth Street, Garland, Texas.

10a. APPROVED Director of Planning Anita Russelmann provided the staff report regarding the application of Primax Properties, LLC requesting approval of 1) an amendment of Planned Development (PD) District 86-1 for Retail Uses and 2) a Detail Plan for Retail Sales/Personal Service. The property is located at the east side of Plano Road, approximately 200 feet south of the intersection of Plano Road and Walnut Street. (File No. 14-27) (District 6)

Mayor Athas opened the public hearing for comment. Bob Pruett spoke in favor of the request. No one else spoke during the public hearing. Mayor Athas closed the public hearing.

Council Member Dodson made a motion, seconded by Council Member Billy Mack Williams, to approve the application and directed staff to prepare a formal ordinance

for approval. A vote was cast and the motion carried with 9 ayes, 0 nays.

10b. APPROVED

Director of Planning Anita Russelmann provided the staff report regarding the application of Linear Architecture requesting approval of 1) a Specific Use Permit for Restaurant with Drive-through and 2) a variance to Section 10-311 of the Comprehensive Zoning Ordinance No. 4647 regarding the use of metal as a façade material. The property is located at 5235 North Garland Avenue. (Zoning File No. 14-29) (District 7)

Mayor Athas opened the public hearing for comment. Irma Reiner spoke in favor of the request on behalf of the applicant. No one else spoke during the public hearing.

Council Member LeMay made a motion, seconded by Council Member Dodson, to approve the request and directed staff to prepare a formal ordinance for approval. A vote was cast and the motion carried with 9 ayes, 0 nays.

11. APPOINTMENTS: A vote was cast and the motion carried with 9 ayes, 0 nays as the following names were place in nomination:

Garland Youth Council

- *Araseli Lara – (District 1)*
- *Zaria Dickson – (District 2)*
- *Britney Fernandez – (District 2)*
- *Devin Brown – (District 3)*
- *Kylie Beene – (District 3)*
- *Summer Davis – (District 4)*
- *Kelsy Kenison – (District 7)*
- *Leah Gattus – (District 7)*
- *Diane Ly – (District 8)*
- *Elizabeth Sinclair – (District 8)*

Board of Adjustment

- *Arlene Beasley – (District 2)*
- *Jim Bookout – (District 4)*

Citizens Environmental and Neighborhood Advisory Committee

- *Frances Smith – (District 4)*

Community Multicultural Commission

- *Dr. Shibu Samuel – (District 4)*

Garland Cultural Arts Commission

- *Claudia Porras – (District 2)*
- *Blanca Sanchez – (District 4)*

Housing Standards Board

- *Rodney Blount – (District 2)*
- *David Perry – (District 4)*

Library Board

- *Lynnell Patricia Boone – (District 2)*
- *CorSharra Jackson – (District 4)*

Parks and Recreation Board

- *Sharon Carstens – (District 2)*
- *Davis Cecil Williams II – (District 4)*

Plumbing and Mechanical Codes Board

- *Dwight Dee Nichols – (District 2)*

Senior Citizens Advisory Committee

- *Gwendolyn Daniels – (District 4)*
- *Wayne Wilmany – (District 2)*

TIF – I-30 South

- *Jonathan Kelly – (District 4)*

12. COMMENTS: Mary Ann Wickersham spoke regarding the Empty the Shelter Event and other Garland Animal Shelter concerns; Michelle Ferrer spoke regarding animal rescue groups; Steve Miller discussed his recent code violation.

There being no further business to come before the City Council, Mayor Athas adjourned the meeting at 8:16 p.m.

CITY OF GARLAND

Signed:

Douglas Athas, Mayor

ATTEST:

Lisa Palomba, City Secretary



Purchasing Report

345 kV CIRCUIT BREAKER REPLACEMENT OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide construction associated with the installation of 345 kV Circuit Breakers at the Gibbons Creek Substation as part of the TMPA Breaker Replacement Project. Due to the complexity of the project, an optional contingency is included for unforeseen changes in the requirements. This is an approved Capital Improvement project that will be 100% reimbursed.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Chapman Construction Co., LP Contingency	All	\$634,925.00 63,925.00
	TOTAL:	\$698,850.00

BASIS FOR AWARD:

Best Value

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.

Director of Purchasing

William E. Dollar

City Manager

Date: 08/07/14

Date: 08/11/14

<u>FINANCIAL SUMMARY:</u>	
Total Project/Account: \$ <u>4,407,603</u>	Operating Budget: <input type="checkbox"/> CIP: <input checked="" type="checkbox"/> Year: <u>2014</u>
Expended/Encumbered to Date: <u>2,399,603</u>	Document Location: <u>Page E01</u>
Balance: \$ <u>2,008,000</u>	Account #: <u>215-3542-3175301-7111</u> <u>(EC-S5753-002-1)</u>
This Item: <u>698,850</u>	Fund/Agency/Project – Description: <u>Electric CIP – Transmission Lines</u>
Proposed Balance: \$ <u>1,309,150</u>	Comments: <u>Provides construction associated with installation of 345 kV circuit breakers at Gibbons Creek Substation as part of the TMPA Breaker Replacement Project; includes an optional contingency.</u>
Trent Schulze <u>08/08/14</u>	
Budget Analyst <u>Date</u>	
Ron Young <u>08/08/14</u>	
Budget Director <u>Date</u>	

CITY OF GARLAND - BID RECAP SHEET

OPENED: 7/22/2014
 REQ. NO PR 33043
 BID NO 4442-14
 PAGE: 1 of 1
 BUYER: R.,Berger

Chapman
 Construction Co. LP

High Country Line
 Construction

Pike Electric LLC

I T E M	QTY	U N I T	DESCRIPTION								
				UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL	UNIT PRICE	TOTAL
			Bid Price for Evaluation		\$634,925.00		\$598,069.00		\$652,714.17		
			Evaluation Criteria:								
			Price	Maximum = 50	46.90	50.00	50.00	45.40	45.40		
			Qualifications	Maximum = 50	50.00	45.00	45.00	45.00	45.00		
			Total Score	Maximum - 100	96.90	95.00	95.00	90.40	90.40		
TOTAL GROSS PRICE					\$634,925.00		\$598,069.00		\$652,714.17		
CASH DISCOUNT											
TOTAL NET PRICE					\$634,925.00		\$598,069.00		\$652,714.17		
F.O.B.				DELIVERED		DELIVERED		DELIVERED		DELIVERED	
DELIVERY											

NEXT LOW: \$652,714.17
LOW: \$634,825.00
SAVINGS: \$17,889.17

2273 # BidSync Notifications
 2 # BidSync HUBS
 21 # Direct Contact HUBS
 0 # HUBS Responded

All bids submitted for the designated project are reflected on this bid tab sheet. However, the listing of a bid on this sheet should not be construed as a comment on the responsiveness of such bid or as any indication that the city accepts such bid as responsive. The City will notify the successful bidder upon award of the contract and, according to the law, all bids received will be available for inspection at that time.



GARLAND

PURCHASING

Executive Summary **Bid 4442-14** **345kV Circuit Breaker Replacement**

Recommended Vendor:

Chapman Construction Co., L.P.

Total Recommended Award:

\$698,850.00

Basis for Award:

Best Value

Purpose:

The purpose of this contract is to provide construction associated with the installation of 345kV circuit breakers at the Gibbons Creek Substation as part of the approved TMPA Breaker Replacement Project. Due to the complexity of the project, an optional contingency is included for unforeseen changes in the requirements.

Evaluation:

Requests for Bids were issued in accordance with Purchasing procedures. Three (3) bids were received and evaluated on the published criteria of price and qualifications. Chapman Construction Co., L.P. received the highest evaluated score, offering the best value for the City.

Recommendation:

Staff Recommends awarding the contract to Chapman Construction Co., L.P. as the best value provider.

Funding Information:

CIP 215-3542-3175301-7111 (EC-S5753-002-1)
TMPA Breaker Replacement Project will be 100% reimbursed.

Department Director:

Ross Owen, Transmission & Distribution Director, 972-205-3532



Purchasing Report

WASTEWATER TREATMENT MASTER PLAN OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to provide professional services to evaluate the City of Garland's Rowlett and Duck Creek Wastewater Treatment facilities to identify improvements necessary to treat wastewater flows through 2040. Alan Plummer Associates, Inc., was selected as the most qualified firm for this project from a short list of environmental engineers evaluated and ranked by the published criteria in RFQ 3691-13.

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Alan Plummer Associates, Inc.	All	\$334,507.00
TOTAL:		\$334,507.00

BASIS FOR AWARD:

Most Qualified

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.

 Director of Purchasing

William E. Dollar

 City Manager

Date: 08/07/14

Date: 08/11/14

<u>FINANCIAL SUMMARY:</u>	
Total Project/Account: \$ 335,000	Operating Budget: <input checked="" type="checkbox"/> CIP: <input type="checkbox"/> Year: 2013-14
Expended/Encumbered to Date: -0-	Document Location: Page 92
Balance: \$ 335,000	Account #: 231-4211-7101
This Item: 334,507	Fund/Agency/Project – Description: Wastewater / Administration / Treatment Master Plan
Proposed Balance: \$ 493	Comments: Professional services to identify improvements necessary to treat wastewater flows through 2040.
Matt Watson 08/11/14 Budget Analyst Date	
Ron Young 08/11/14 Budget Director Date	



GARLAND

PURCHASING

Executive Summary
Bid 4654-14

Professional Services for Wastewater Treatment Master Plan

Recommended Vendor:

Alan Plummer Associates, Inc.

Total Recommended Award:

\$334,507.00

Basis for Award:

Most Qualified

Purpose:

The purpose of this contract is to provide professional services to evaluate the City of Garland's Rowlett and Duck Creek wastewater treatment facilities to identify improvements necessary to treat wastewater flows through 2040.

Evaluation:

Alan Plummer Associates, Inc. was selected as the most qualified firm for this project from a shortlist of environmental engineers evaluated and ranked by the published criteria in RFQ 3691-13.

Recommendation:

Staff recommends award of contract for Professional Services to Alan Plummer Associates, Inc.

Funding Information:

Wastewater Treatment Administration Account 231-4211-7101

Department Director:

Wes Kucera, Director of Wastewater, 972-205-2874



Purchasing Report

FLATBED TRUCKS OPEN MARKET

PURCHASE JUSTIFICATION:

The purpose of this contract is to purchase four (4) Flatbed Trucks to be utilized by the Street Department in their daily operations. These trucks are being provided by Caldwell Country Ford through the BuyBoard Cooperative Contract 430-13. These units were approved in the 2013-14 Operating Budget and Equipment Replacement Fund (ERF).

AWARD RECOMMENDATION:

<u>Vendor</u>	<u>Item</u>	<u>Amount</u>
Caldwell Country Ford	All	\$132,040.00
TOTAL:		\$132,040.00

BASIS FOR AWARD:

Cooperative Purchase

Submitted by:

Reviewed by:

Gary L. Holcomb, CPPO, C.P.M.

Director of Purchasing

William E. Dollar

City Manager

Date: 08/07/14

Date: 08/11/14

<u>FINANCIAL SUMMARY:</u>	
Total Project/Account: \$ <u>455,725</u>	Operating Budget: <input checked="" type="checkbox"/> CIP: <input type="checkbox"/> Year: <u>2013-14</u>
Expended/Encumbered to Date: <u>322,653</u>	Document Location: <u>Various</u>
Balance: \$ <u>133,072</u>	Account #: 831-4692-9009 \$32,910 444-4692-9009 99,130
This Item: <u>132,040</u>	Fund/Agency/Project – Description: Equipment Replacement Fund and Infrastructure Repair & Replacement Fund capital account
Proposed Balance: \$ <u>1,032</u>	Comments: Four (4) Flatbed Trucks
Ron Tiffany <u>08/08/14</u> Budget Analyst Date	
Ron Young <u>08/08/14</u> Budget Director Date	



GARLAND

PURCHASING

Executive Summary Bid 4656-14 Flatbed Trucks

Recommended Vendor:

Caldwell Country Ford

Total Recommended Award:

\$132,040.00

Basis for Award:

Cooperative Purchase

Purpose:

The purpose of this contract is to purchase four (4) flatbed trucks to be utilized by the Street Department in their daily operations.

Evaluation:

These trucks are being provided by Caldwell Country Ford through the BuyBoard Cooperative Contract 430-13.

Recommendation:

Staff recommends awarding the purchase of these trucks to Caldwell Country Ford.

Funding Information:

444-4692-9009, 831-4692-9009

Department Director:

Terry Anglin, Fleet Director 972-205-3524



City Council Item Summary Sheet

Work Session

Date: August 19, 2014

Agenda Item

Zoning Ordinance

Summary of Request/Problem

Zoning Ordinance 14-27 Primax Properties, LLC.

Recommendation/Action Requested and Justification

Consider adoption of attached ordinance.

Submitted By:

**Anita Russelmann
Director of Planning**

Approved By:

**William E. Dollar
City Manager**

ORDINANCE NO.

AN ORDINANCE AMENDING THE ZONING LAWS OF THE CITY OF GARLAND, TEXAS, BY APPROVING AN AMENDMENT OF PLANNED DEVELOPMENT (PD) DISTRICT 86-1 FOR RETAIL USES AND A DETAIL PLAN FOR RETAIL SALES/PERSONAL SERVICE ON A 0.840-ACRE TRACT OF LAND LOCATED ON THE EAST SIDE OF PLANO ROAD, APPROXIMATELY 200 FEET SOUTH OF THE INTERSECTION OF PLANO ROAD AND WALNUT STREET; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; AND PROVIDING FOR A PENALTY AND AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 14th day of July, 2014, the City Plan Commission did consider and make recommendations on a certain request for zoning change made by **Primax Properties, LLC.**, and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

Now, therefore, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, that:

Section 1.

Ordinance No. 4647 is hereby amended by approving an amendment of Planned Development (PD) District 86-1 for Retail Uses and a Detail Plan for Retail Sales/Personal Service on a 0.840-acre tract of land located on the east side of Plano Road, approximately 200 feet south of the intersection of Plano Road and Walnut Street, and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2.

Development shall be in conformance with the conditions, restrictions, and regulations set forth in Exhibit B, attached hereto and made a part hereof.

Section 3.

Ordinance No. 4647, as amended, shall remain in full force and effect, save and except as amended by this Ordinance.

Section 4.

Violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 5.

This Ordinance shall become and be effective on and after its adoption and publication as required by law.

PASSED AND APPROVED this _____ day of _____, 2014.

THE CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File 14-27

Being all that certain lot, tract or parcel of land situated in the City of Garland, Dallas County, Texas and being a part of the Skillman Forest Shopping Center First Installment, an addition to the City of Garland, Dallas County, Texas, according to the plat thereof recorded in Volume 247 at Page 2121 of the Map Records of Dallas County, Texas, and also being a part of the 7.627 acre tract of land out of the Joseph Dye Survey, Abstract No. 404 as recorded under County Clerks file number 20070383838 of the Official Public Records of Dallas County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8" iron rod set in the east right of way line of Plano Road (variable width right of way) for the northwest corner of said Skillman Forest Shopping Center First Installment;

THENCE south 89° 45' 00" east (basis of bearings per plat recorded in Volume 247 at Page 2121 of the Map Records of Dallas County, Texas) and following along the common line of Skillman Forest Shopping Center First Installment and Skillman Forest Shopping Center Second Installment, an addition to the City of Dallas, Texas according to the plat thereof as recorded in Volume 562 at Page 2085 of the Map Records of Dallas County, Texas, and passing the common corner at a distance of 200.00 feet and continuing along for a total distance of 323.42 feet to a point for corner;

THENCE south 00° 36' 00" west for a distance of 94.28 feet to a point for corner;

THENCE north 89° 45' 00" west for a distance of 90.42 feet to a point for corner;

EXHIBIT A

THENCE south 00° 36' 00" west for a distance of 26.21 feet to a point for corner;

THENCE north 89° 45' 00" west for a distance of 233.00 feet to a 5/8" iron rod set for corner in the east right of the aforesaid right of way line of Plano Road;

THENCE north 00° 36' 00" east and following along the east right of way line of said Plano Road for a distance of 120.49 feet to the point of beginning and containing 0.840 acres of land, more or less.

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE 14-27

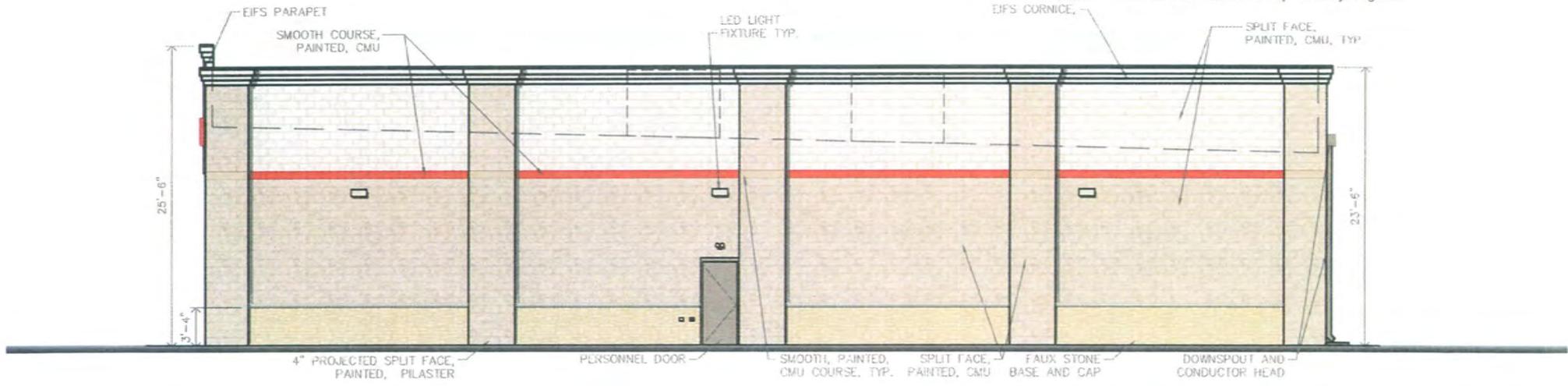
On the east side of Plano Road, approximately 200 feet south of the intersection of Plano Road and Walnut Street

- I. **Statement of Purpose:** The purpose of this Planned Development is to approve a Detail Plan of a retail building subject to conditions.
- II. **Statement of Effect:** This Planned Development (PD) District shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the General Business (GB) District set forth in Section 25 and 32 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Development Plans:**
 - A. Detail Plan: Development shall be in conformance with the approved Detail Plan labeled Exhibit C. In the event of conflict between the conditions and Detail Plan, the conditions listed below shall prevail.
- V. **Specific Regulations:**
 - A. Permitted Uses: Permitted land uses are listed in the General Business (GB) District.
 - B. Landscape Plan: Screening and Landscaping shall be in general conformance with the approved Landscape Plan labeled as Exhibit D.
 - C. Building Elevations: Exterior building elevations shall be in conformance with the approved elevations labeled as Exhibit E.
 - D. Signs: Only 1 additional freestanding sign shall be allowed.



FRONT ELEVATION
NO SCALE

MATERIALS
 CMU TOP COLOR: PPG-20YY 58-082, BEACHCOMBER
 CMU BOTTOM COLOR: PPG-10YY 41/083, CASTLE ROCK
 Accent Stripe-Red painted smooth CMU
 WAINSCOT - FAUX STONE: Match Boral-Aspin Country Ledgestone

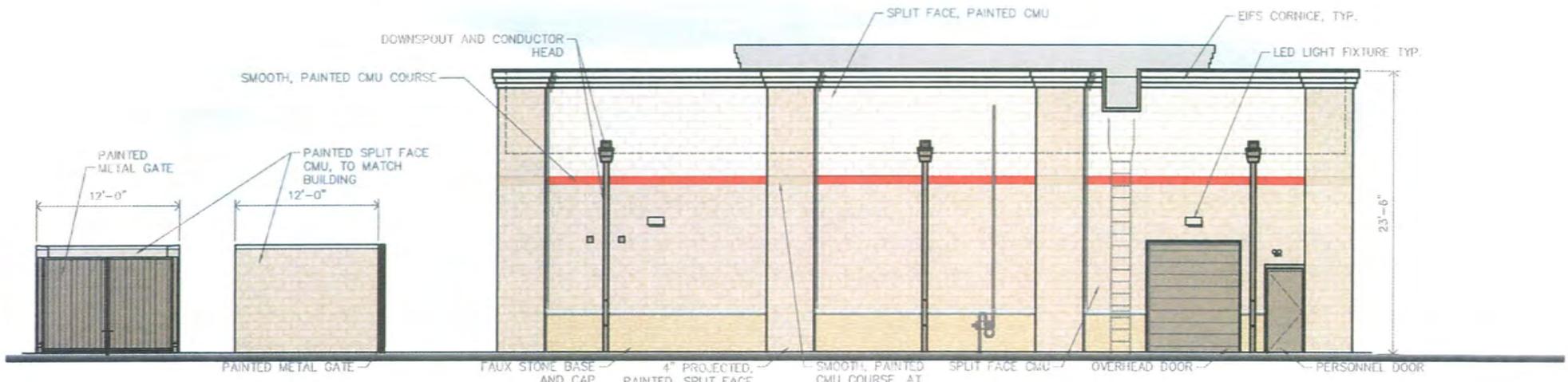


RIGHT SIDE ELEVATION
NO SCALE

Garland, Texas
 Prepared for
 Primax Properties
 July 9th 2014

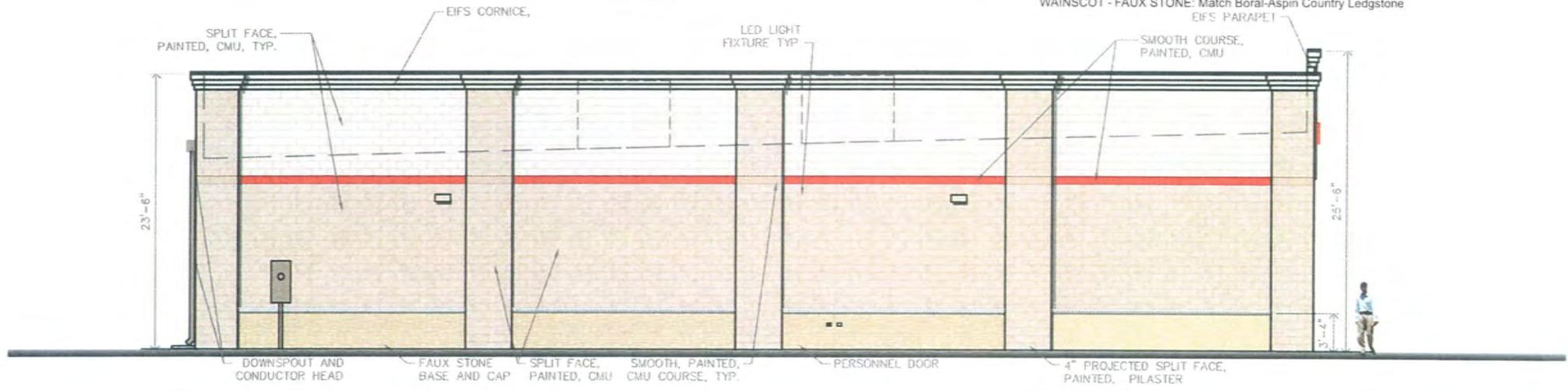


EXHIBIT E



REAR ELEVATION
NO SCALE

MATERIALS
 CMU TOP COLOR: PPG-20YY 58-082, BEACHCOMBER
 CMU BOTTOM COLOR: PPG-10YY 41/083, CASTLE ROCK
 Accent Stripe-Red painted smooth CMU
 WAINSCOT - FAUX STONE: Match Boral-Aspin Country Ledgestone



LEFT SIDE ELEVATION
NO SCALE

Garland, Texas
 Prepared for
Primax Properties
 July 9th 2014



EXHIBIT E



City Council Item Summary Sheet

Work Session

Date: August 19, 2014

Agenda Item

Zoning Ordinance

Summary of Request/Problem

Zoning Ordinance 14-29 Linear Architecture

Recommendation/Action Requested and Justification

Consider adoption of attached ordinance.

Submitted By:

**Anita Russelmann
Director of Planning**

Approved By:

**William E. Dollar
City Manager**

ORDINANCE NO.

AN ORDINANCE AMENDING THE ZONING LAWS OF THE CITY OF GARLAND, TEXAS, BY APPROVING A SPECIFIC USE PERMIT FOR A RESTAURANT WITH DRIVE THROUGH, ON A 0.912-ACRE TRACT OF LAND LOCATED AT 5235 NORTH GARLAND AVENUE; PROVIDING FOR CONDITIONS, RESTRICTIONS, AND REGULATIONS; AND PROVIDING FOR A PENALTY AND AN EFFECTIVE DATE.

WHEREAS, at its regular meeting held on the 23rd day of June, 2014, the City Plan Commission did consider and make recommendations on a certain request for zoning change made by **Linear Architecture**, and

WHEREAS, The City Council, after determining all legal requirements of notice and hearing have been met, has further determined the following amendment to the zoning laws would provide for and would be in the best interest of the health, safety, morals, and general welfare:

Now, therefore, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS, that:

Section 1.

Ordinance No. 4647 is hereby amended by approving a Specific Use Permit for a Restaurant with Drive Through, on a 0.912-acre tract of land located at 5235 North Garland Avenue, and being more particularly described in Exhibit A, attached hereto and made a part hereof.

Section 2.

Development shall be in conformance with the conditions, restrictions, and regulations set forth in Exhibit B, attached hereto and made a part hereof.

Section 3.

Ordinance No. 4647, as amended, shall remain in full force and effect, save and except as amended by this Ordinance.

Section 4.

Violation of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances, City of Garland, Texas.

Section 5.

This Ordinance shall become and be effective on and after its adoption and publication as required by law.

FILE NO. 14-29

PASSED AND APPROVED this _____ day of _____, 2014.

THE CITY OF GARLAND, TEXAS

By:

Mayor

ATTEST:

City Secretary

Published:

EXHIBIT A

LEGAL DESCRIPTION

Zoning File 14-29

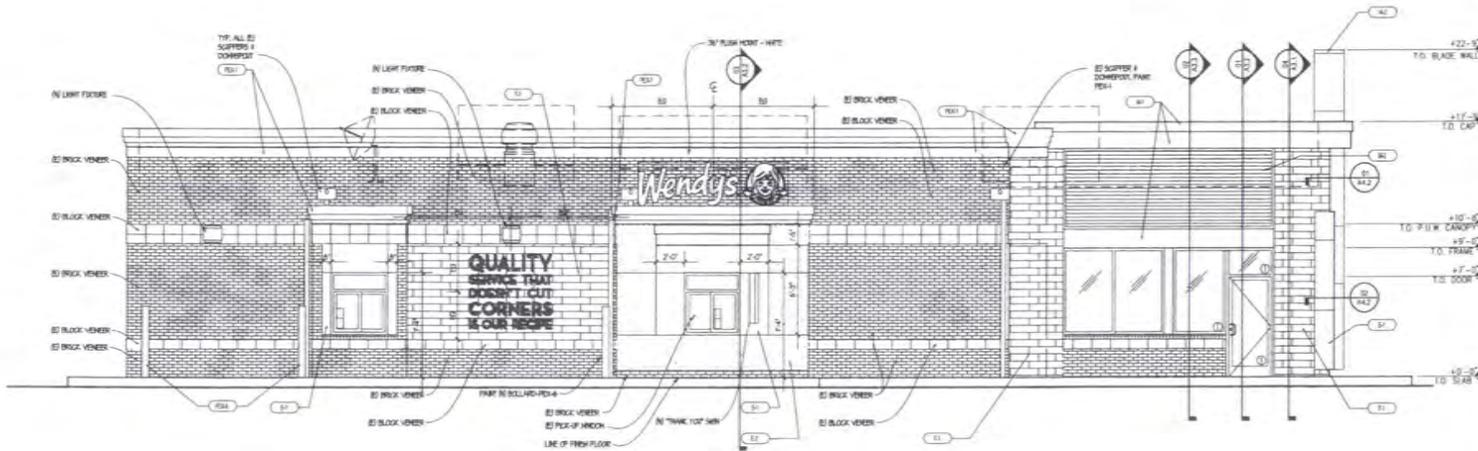
Being a 0.912-acre lot identified as Lot 4, Block 1 North Garland Crossing Replat, an addition to the City of Garland, Dallas County, recorded in Volume 2002238, Page 00317 of the Map Records of Dallas County, Texas. The property is located at 5235 North Garland Avenue, Garland, TX.

SPECIFIC USE PERMIT CONDITIONS

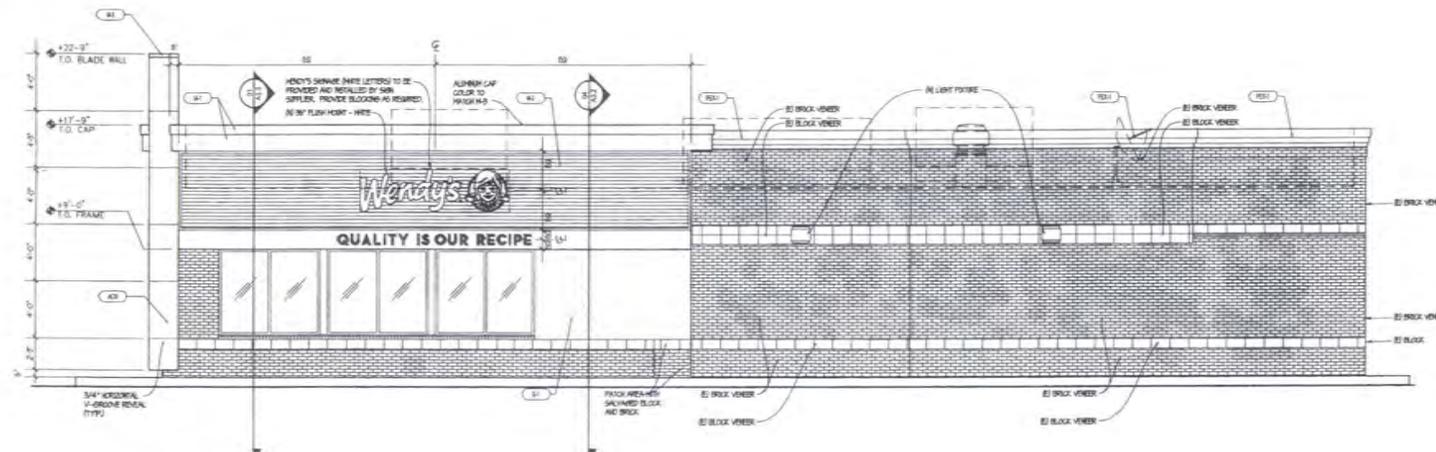
ZONING FILE 14-29

5235 North Garland Avenue

- I. **Statement of Purpose:** The purpose of this Specific Use Permit is to amend the specific regulation regarding the elevations in an existing Specific Use Permit for a restaurant with drive-through.
- II. **Statement of Effect:** This permit shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the Freeway (FW) District set forth in Section 31 and 33 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Specific Regulations:**
 - A. Time Period: The Specific Use Permit shall be in effect for a 20 year time period and shall be tied to **Wendy's International, Inc.**
 - B. Site Plan: Development shall be in conformance with the approved site plan (Exhibit C)
 - C. Landscape Plan: Development shall be in conformance with the approved Landscape Plan (Exhibit D)
 - D. Elevations: The building materials shall be in conformance with the approved elevations (Exhibit E)
 - E. Signage: The site shall be permitted a monument sign 7 feet in height, 50 square feet in area, and setback 15 feet from the property line. The attached signage shall be allowed up to 138.5 square feet. Menu board signage shall comply with the SH 190 signage requirements.



02 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



01 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
1. WHERE EVER POSSIBLE ALL NEW MASONRY WORK SHALL BE CONSTRUCTED BY SALVAGED MASONRY TO MATCH EXISTING MASONRY.
 2. REPAIR EXISTING VERTICAL AND HORIZONTAL MASONRY JOINTS HERE.
 3. CLEAN REPAIR & REPAIR E1 ELEMENTS HERE INDICATED.

EXTERIOR FINISHES LEGEND

- NOTE: REFER TO MATERIALS PERFORMANCE SCHEDULES OR MEET ALL FOR SPECIFICATIONS OF ALL EXTERIOR MATERIALS AND FINISHES.
- (E1) METAL PANEL (RED GLAZE)
 - (B1) BRICK
 - (E-1) EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) - "OVER SET"
 - (E-2) EXTERIOR INSULATED FINISH SYSTEM (E.I.F.S.) - "SET"
 - (E-3) FLASH INSULATED GLASS
 - (M1) METAL TRIM AND BRASS METAL
 - (M-2) COMPRESSED METAL PANEL
 - (M-3) METAL CORING
 - (P01) PAINT (COLOR DEEP BROWN/TONE)
 - (P02) PAINT (COLOR CHARLESTON BROWN)
 - (P03) PAINT (COLOR IVORY BOND)
 - (P04) IVORY BOND
 - (P05) PAINT (COLOR POWDER COATED SAFETY RED)
 - (P06) PAINT (COLOR SAFETY YELLOW)
 - (P07) POLYURETHANE
 - (S1) ALUMINUM VESTIBULE SYSTEM
 - (T1) EXTERIOR TILE

ENVELOPE COMPLIANCE

ROOF	EXISTING R-38
WALLS	EXISTING R-10-R-20
WINDOWS	U-0.25 SHGC-0.60
GLASS DOORS	U-0.25 SHGC-0.60

OPTIONAL ROOF SCREENS:

CITYSCAPES ONLY INDICATED VERTICAL ROOF SCREEN SYSTEM WITH LOWER PANELS. STEP 2 TOP TRIM COLOR: FINEST SAND.

WWW.CITYSCAPES.COM

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

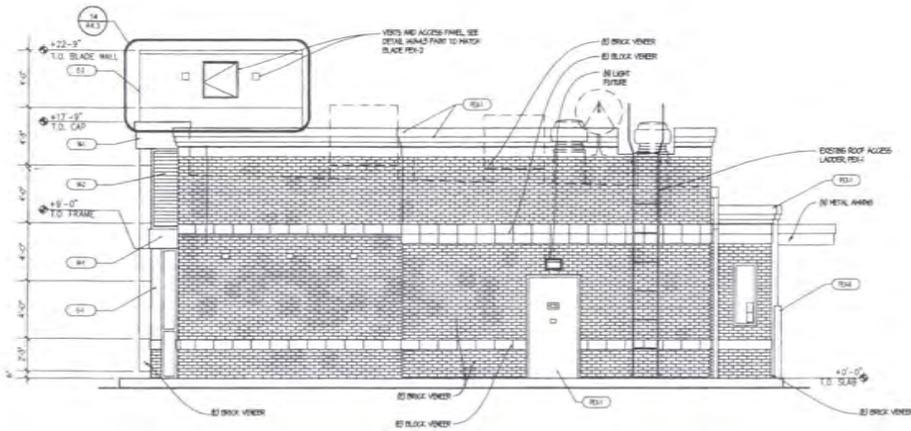
Linear!
The Architecture of Kemery Brundage and Young
1600 Fremont Avenue, Suite 110
Dallas, TX 75205
Tel: 972.974.9601

Wendys E2000
#8398
5235 N. GARLAND RD.
GARLAND, TX 75040

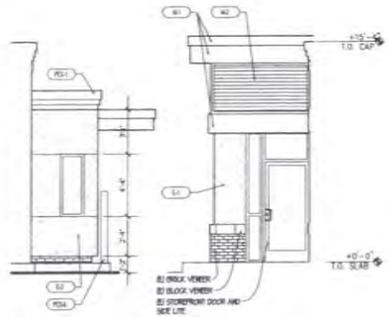
NO. SHEETS	14 OF 14
DATE	04.20.14
PROJECT NUMBER	14.173
ARCHITECT	
DATE	



DATE PLOTTED
JOB NAME
EXTERIOR ELEVATIONS

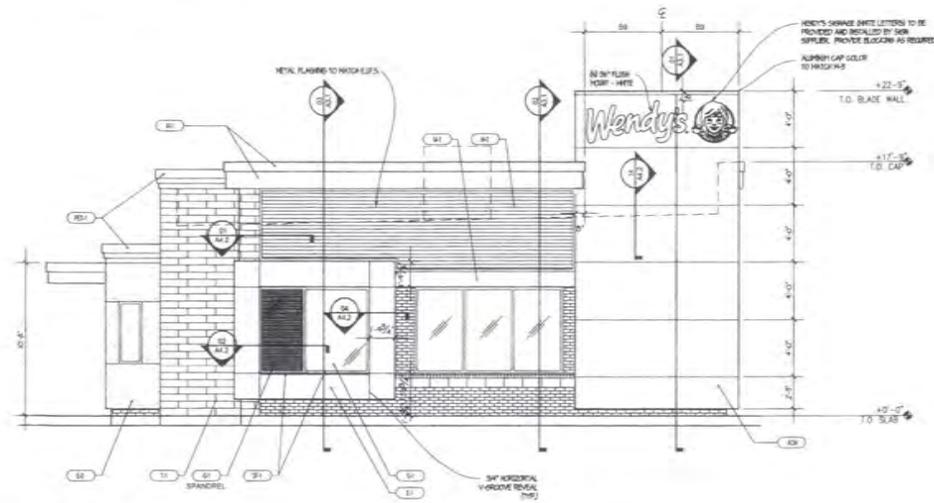


02 REAR ELEVATION
SCALE: 1/4" = 1'-0"



03 ELEVATION
SCALE: 1/4" = 1'-0"

04 ELEVATION
SCALE: 1/4" = 1'-0"



01 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- WHERE EVER POSSIBLE ALL NEW MASONRY WORK SHALL BE CONSTRUCTED IN SALVAGED MASONRY TO MATCH EXISTING MASONRY.
- REPAIR EXISTING VERTICAL AND HORIZONTAL MASONRY JOINTS HERE, VERTS OR GRADES EXIST.
- GRADE REPAIR / REPAIR ELEMENTS HERE RELATED.

EXTERIOR FINISHES LEGEND

NOTE: REFER TO MATERIAL PERFORMANCE SCHEDULE OR SPEC ALL FOR SPECIFICATIONS OF ALL EXTERIOR MATERIALS AND FINISHES.

020	METAL PANEL RED BRICK
011	BRICK
114	EXTERIOR INSULATED FINISH SYSTEM (EIFS) - "DOVER SQT"
122	EXTERIOR INSULATED FINISH SYSTEM (EIFS) - "VEE"
011	FLORIN INSULATED GLASS
011	METAL TERN AND BRACE METAL
002	CORRUGATED METAL PANEL
003	METAL CORING
FD-1	PAINT COLOR: DEEP BRONZETONE
FD-2	PAINT COLOR: CARBONIZED BRONZE
FD-3	PAINT COLOR: PMS 086
FD-4	NOT USED
FD-5	PAINT COLOR: POWDER COATED SAFETY RED
FD-6	PAINT COLOR: SAFETY YELLOW
006	POUR FIBROCK
011	ALUMINUM SCREENING SYSTEM
111	EXTERIOR TILE

ENVELOPE COMPLIANCE

ROOF	EXISTING R-30
WALLS	EXISTING R-21
WINDOWS	U=0.28 SHGC=0.50
GLASS DOORS	U=0.28 SHGC=0.50

OPTIONAL ROOF SCREENS:

CITYSCAPE BY HEMPTON VERTICAL ROOF SCREEN SYSTEM WITH LOWER PANELS, STEP 2 TOP TRIM COLOR: HARBOR DRUM.

WWW.CITYSCAPE.COM

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE JOB SITE AND NOTIFY THE ARCHITECTS OF ANY DIMENSIONAL, MATERIAL, CONDITIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK. DO NOT SCALE DRAWINGS.

Linear!
the architecture of Kermey Brundage and Young
600 Piedmont Avenue, Suite 111
Daly City, CA 94015
New York, NY 10013

Wendy's. E2000
#9398
5235 N. GARLAND RD.
GARLAND, TX 75040

DATE	04.29.14
ISSUED BY	14.179
PROJECT NUMBER	
DATE	
ISSUED BY	



DATE: 4/29/14
TYPE: EXTERIOR ELEVATIONS

A2.2
12 of 36



City Council Item Summary Sheet

Work Session

Date: August 19, 2014

Agenda Item

Neighborhood Vitality Grants

Summary of Request/Problem

Council was briefed at the August 4th Work Session regarding applications for Neighborhood Vitality Funding for the Town North Village HOA, Place One HOA, and Ridgewood Park Neighborhood Association. The Community Services Committee had previously reviewed these applications and recommended approval of all three. Council directed that a Resolution be brought forward to fund these applications.

Recommendation/Action Requested and Justification

Consider adoption of attached resolution.

Submitted By:

**Anita Russelmann
Planning Director**

Approved By:

**William E. Dollar
City Manager**

RESOLUTION NO. _____

**A RESOLUTION APPROVING AND FUNDING THE 2014 CYCLE 2
NEIGHBORHOOD VITALITY MATCHING GRANT PROJECTS.**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GARLAND,
TEXAS:**

Section 1

The Neighborhood Vitality Matching Grant Applications attached hereto as Exhibit A and incorporated herein by reference, is hereby adopted and approved according to the program guidelines. These funds will be appropriated as part of the annual Capital Improvement Program.

Section 2

That this resolution shall be and become effective immediately upon and after its adoption and approval.

PASSED AND APPROVED this the 19th day of August, 2014.

THE CITY OF GARLAND, TEXAS

BY: _____
Mayor

ATTEST:

City Secretary

EXHIBIT A

**2014 NEIGHBORHOOD VITALITY MATCHING GRANT APPLICATIONS
Cycle 2**

Applicant	Project	Fund Request	Council District
Ridgewood Park Neighborhood Association	Sign Toppers	\$1,126.08	4
Town North Village HOA	Additional Lighting Installation	\$8,662.50	6
Place One HOA	Neighborhood Playground	\$54,145.50	6



City Council Item Summary Sheet

Work Session

Date: August 19, 2014

Agenda Item

Parking Restrictions

Summary of Request/Problem

At the August 4, 2014 Work Session, Council considered a request for parking restrictions on W. Avenue C between Tenth Street and Eleventh Street. The proposed restrictions would be from 7 to 9 a.m. and 2 to 4 p.m. on school days only.

Recommendation/Action Requested and Justification

Approve an ordinance amending Chapter 33, "Transportation", of the Code of Ordinances of the City of Garland.

Submitted By:

Paul Luedtke
Director of Transportation

Approved By:

William E. Dollar
City Manager

ORDINANCE NO.

AN ORDINANCE AMENDING CHAPTER 33, "TRANSPORTATION", OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A PENALTY CLAUSE, A SAVINGS CLAUSE AND A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That Section 33.52(E) of Chapter 33, "Transportation", of the Code of Ordinances of the City of Garland, Texas, is hereby amended by adding the following:

"W. Avenue C From 10th Street to 11th Street Both"

Section 2

That a violation of any provision of this Ordinance shall be a misdemeanor punishable in accordance with Section 10.05 of the Code of Ordinances of the City of Garland, Texas.

Section 3

That Chapter 33, "Transportation", of the Code of Ordinances of the City of Garland, Texas, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 4

That the terms and provisions of this Ordinance are severable and are governed by Section 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 5

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this the _____ day of _____,
2014.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary

W. Avenue C Proposed Parking Restriction



0 60 120 ft.

Map center: 32° 54' 36.8" N, 96° 38' 38.0" W



Scale: 1:1,013

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION.



City Council Item Summary Sheet

Work Session

Date: August 19, 2014

Agenda Item

Design Contract – Stonewall St, S. Country Club Rd, and Rollingridge Ln – Water, Wastewater, and Paving Improvements

Summary of Request/Problem

Funding for the water and sewer improvements was included in the approved 2014 Capital Improvements Program.

To begin the design process, staff has negotiated a contract with a local firm, Kimley-Horn and Associates, Inc., in an estimated amount of \$157,000. The contract will cover the design of the replacement of existing water and wastewater mains along with pavement improvements. The limits of the project are along Stonewall St from Southern Dr. to Quail Hollow Dr., S. Country Club Rd from Marilee Dr. to Iroquois Dr., and Rollingridge Ln from Wildbriar Dr. to O'Banion Rd.

Council action is required to authorize the City Manager to execute the contract.

Recommendation/Action Requested and Justification

Authorize the City Manager to execute the proposed contract by Minute Action

Attachments:

Proposed Contract

Location Maps

Submitted By:

Michael C. Polocek
Director of Engineering

Approved By:

William E. Dollar
City Manager

ENGINEERING SERVICES CONTRACT

This Engineering Services Contract ("Contract") is made and entered by and between the City of Garland, Texas (the "City") and Kimley-Horn and Associates, Inc. (the "Engineer")

Section 1. Scope of Project.

Stonewall Street, S. Country Club Road, and Rollingridge Lane - Water, Wastewater, and Paving Improvements

Provide design & survey services for the replacement of approximately 5,950 linear feet of 8" water main including new onside water services, fire hydrants and leads along with 1,500 linear feet of 8" sanitary sewer main as further detailed in the attached Kimley-Horn and Associates, Inc. proposal dated August 1, 2014.

Estimated Design Fee: \$157,000

Section 2. Description of Services.

(A) Preliminary Phase:

For the Preliminary Phase of the Project, Engineer shall:

- (1) Arrange and attend preliminary conferences with interested parties regarding the project including, but not limited to, the various utility services of the City, including but not limited to Atmos Energy, ONCOR Electric, AT&T, Verizon, Garland Power and Light, North Texas Municipal Water District, Time Warner, and GISD as necessary, up to two (2), to complete the preliminary design.
- (2) Review previously prepared construction plans, land records, or other pertinent documents on file in the Engineering Department of the City and other appropriate agencies.
- (3) Prepare a preliminary engineering report for the project in sufficient detail to indicate generally the problems involved and alternate solutions available to the City. The report shall include, but not be limited to, the items contained in the Project Checklist included in Appendix "A" of this contract. The report shall also include opinions of probable costs for the project and the recommendations of the Engineer.
- (4) Furnish the City one (1) copy of the preliminary data, including preliminary layouts and cost estimates.

(B) Surveying Phase for Design and Construction:

In preparing and executing surveys for the design and construction of the project, the Engineer shall:

- (1) Establish permanent monumentation for horizontal and vertical project control. The project shall be tied to the North Central Zone (4202) Texas Coordinate System of 1983, (NAD83 96, EPOCH 2002.000), using City established control

monuments. NAVD88 datum shall be utilized for vertical control using National Geodetic Survey/Continuously Operating Reference Station (NGS/CORS) monuments or City of Garland geodetic monuments as specified and directed by the City Surveyor.

- A) Locate right-of-way lines and corners, property lines and corners, buildings, fence lines, trees 3 inches in diameter and larger, edges of pavements and all other visible surface features with respect to the project control baseline. Existing utility structures shall be located and referenced by utility name (e.g. ONCOR Electric, TXU Gas, Verizon, Etc.)
 - B) Vertical topographic information tying pavement, drives, walls, manholes (top and inverts), storm drain inlets (top and inverts), and other improvements as needed within the project areas for the design.
- (2) Research City, County, State, or other documents as necessary, and establish the location of existing boundary lines and easements for the project. Furnish copies of all real estates documents to the City.
 - (3) In cooperation with the City and other franchised utilities, determine the locations and elevations of existing underground utilities. In particular, locations of major underground franchise facilities shall be shown in all profiles.
 - (4) Incorporate aerial, topographic, and planimetric survey data provided by the City.

(C) Design Phase:

For the design phase of the project, Engineer shall:

- (1) Establish the scope of any soil foundation investigations or any special surveys and tests which, in the opinion of the Engineer, may be required for a proper design of the project and arrange for such work to be done, after approval by the City, at the City's expense.
- (2) Furnish to the City the engineering data necessary for applications for routine permits by local, state, and federal authorities (as distinguished from detailed applications and supporting documents for government grant-in-aid or for planning advances).
- (3) Prepare detailed specifications and contract drawings for the project. This may include, but shall not be limited to, separate sheets for the following:

Title Sheet with Index and Project Location

Project Layout

R.O.W. Map indicating all existing and proposed R.O.W. & prepare a right-of-way deed map showing the existing right-of-way, lot numbers, subdivision names, volume and page of recorded instruments, street names, and existing proposed rights-of-way and easements easements for the project.

Prepare Control/Geometric Layout indicating monuments found and set, the relationship of the project baseline or centerline to the monuments, and the benchmarks used and/or set.

Demolition Plan

Bid Item Quantities listed by sheet number and project total

Construction Sequencing and Traffic Control (Utilities)

Construction Sequencing and Traffic Control (Paving)

Storm Water Pollution Prevention or Erosion Control Plans

Water Line Plan; and Profile (12" or larger)

Sanitary Sewer Plan and Profile

Technical Specifications and/or Special Provisions for the project

Horizontal and vertical utility locations

All Construction Details

All contract drawings shall be submitted on 22" x 34" ('D' size) paper **and** in City approved AUTO CAD or Microstation format. Prior to the start of design, the City should approve the format. The Engineer shall correlate pay items on drawings with City of Garland Standard pay items in the contract proposal.

- (4) During development of specifications the Engineer shall place primary reliance on the Standard Specifications for Public Works Construction -North Central Texas - issued by the North Central Texas Council of Governments, and the City's "Public Works Design Guidelines". During development of contract drawings, the Engineer shall place primary reliance on City approved standard drawings and bid items, (copies of which are available at the Engineering Department, the Texas Manual on Uniform Traffic Control Devices, and the Storm Water Quality Best Management Practices for Construction Activities as supplied by the North Central Texas Council of Governments). The Engineer shall develop the specifications and contract drawings in accordance with all Federal, State, or City specifications or regulations.
- (5) A Registered Professional Land Surveyor (RPLS) must prepare, seal and sign the project Right-Of-Way Map(s) with a certification stating that the survey conforms to the minimum standards set forth by the Texas Board of Professional Land Surveying. All monuments located within the project corridor during the course of the survey must be illustrated on the right-of-way map with a project station and offset or coordinates that relate to the project control, whether or not such monuments are used for analysis and/or construction of the project Right-Of-Way. All monuments placed or perpetuating found objects must be reported to the minimum technical standards of the Texas Board of Professional Land Surveying ("TBPLS").
- (6) Prepare all necessary property descriptions and 8 1/2 X 11-inch exhibits for needed additional right-of-way and easements. All descriptions and exhibits must conform to the minimum technical standards of the TBPLS and the requirements of the City Surveyor. Right-of-way and easements shall be delineated on and cross-referenced to the appropriate plans and profile sheets. The plan and profile sheets shall clearly indicate all private property that is in conflict with the proposed construction. Two (2) copies of each document sealed by a Texas Registered Professional Land Surveyor shall be submitted. For this project, no parcel descriptions are anticipated. Parcel descriptions beyond this number will be compensated at a rate of \$1,500 per parcel.

- (7) Submit one (1) set of preliminary plans to the City.
- (8) Prepare and include in plans detailed construction signing and barricade plans for traffic control and safety (if needed). Primary reliance shall be placed in the Texas Manual for Uniform Traffic Control Devices. Provisions for construction phasing shall be included.
- (9) Prepare and Include Storm Water Pollution Prevention Plan (SWPPP) in accordance with the "Storm Water Quality Best Management Practices for Construction Activities" Manual as distributed by the North Central Texas Council of Governments.
- (10) Revise and resubmit copies as needed upon review and comment by the City.
- (11) Prepare a detailed Opinion of Probable Cost.
- (12) Prepare and furnish to the City a paper copy and a PDF of approved plans, specifications and proposal forms using City-approved documents.
- (13) Attend Pre-Bid and Pre-Construction Conferences and assist the owner as needed to interpret, clarify, or expand the bid documents. Issue addenda as needed.
- (14) Provide computer disks of the completed project files in approved AUTO CAD or Microstation format to the City.
- (15) ***Submit all necessary documentation for review/approval required by any federal and/or state agency and obtain any permits that may be required. Federal and state agencies may include but not be limited to Texas Department of Licensing and Regulation, Texas Department of Transportation, Federal Emergency Management Agency, Texas State Historical Society, Environmental Protection Agency, Texas Commission for Environmental Quality, etc...Obtain approval under any federal or state general permits that may apply.***
- (16) Right-of-Way strip map is subject to review by the City Surveyor.

(D) Construction Phase:

For the construction phase of the project, Engineer shall:

- (1) Provide a complete set of conformed plans and specifications including any addenda and modifications prior to the Pre-Construction meeting.
- (2) Provide complete horizontal and vertical control, which, in the opinion of the City, is adequate for the eventual contractor to re-establish the horizontal and vertical control network for the project.
- (3) Provide limited construction phase engineering assistance. When requested by the City, the Engineer will visit the site and consult with the City and the contractor to resolve unusual or unexpected construction problems. The Engineer shall conduct a final project inspection with the City and prepare recommendations concerning items that the Engineer observes during the final inspection that require

additional work or adjustment. Provide written responses to request for information on clarifications.

- (4) Review the contractor's shop drawings and related submittals with respect to the applicability of the detailed work, when complete, to be a properly functioning integral element of the project designed by the Engineer.
- (5) ***After final acceptance of construction by the City, and at the discretion of the City, the Engineer shall require an RPLS:***
 - (a) ***Establish "permanent" survey monumentation for control throughout the project***
 - (b) ***Establish right-of-way corridor permanent monumentation at all control points, points of intersection or deflection, points of curvature, points of tangency and intersecting street/block corners.***

i. Definitions:

1. ***"Permanent" survey monumentation is described as a 3-1/4" aluminum domed top disc for 5/8" rebar (Berntsen #RBD5325) set in concrete per City specifications.***
 2. ***Control monumentation shall bear the inscription "CONTROL".***
 3. ***Right-of-Way monumentation shall bear the inscription "RIGHT-OF-WAY".***
- (6) Prepare Record Drawings based upon mark-ups and information provided by the City Inspector. Submit the Record Drawings with the as-built changes noted and the date and signature of the Engineer in PDF format to the City Inspector. The page size shall be 22" x 34" with a minimum resolution of 300 dpi. The PDF's must be free from objectionable background, rotated properly and stored in a separate folder on the CD/DVD. The submittal shall also include the record drawings in a Microstation format

Section 3. Time of Completion.

The prompt completion of this project is critical to the progress of the City of Garland Capital Improvements Program. Unnecessary delays to the project shall be grounds for dismissal of the Engineer and termination of this Contract without any or further liability to the City other than a prorated payment for necessary, timely and conforming work done on the project prior to the time of termination. Engineer proposes to complete the Preliminary Phase, Surveying and Design Phases for the entire project within 120 calendar days. Attachment "C" is a Bar Graph Schedule showing a breakdown of the major tasks and associated time frames for completion. Upon receiving the notice to proceed, the engineer will submit a new Bar Graph Schedule and submittal dates shown. Upon request by the City, the engineer will prepare a revised schedule.

Section 4. Professional Liability Insurance.

Prior to the commencement of the design phase under this Contract, Engineer shall obtain professional liability insurance coverage in an amount of at least \$1,000,000.00 aggregate per year. Engineer shall maintain such coverage during all phases of engineering services under this Contract and for one (1) year after substantial completion of the project. The

City shall be supplied with a certificate of such coverage, which shall provide for a thirty-(30) day notice to the City, by certified or registered mail, of cancellation, non-renewal, or material alteration.

Section 5. Compensation.

(A) Basic Services:

The Engineer's percentage rate for computation of compensation for the Preliminary Phase, the Surveying Phase, the Design Phase, and the Construction Phase will be based on the negotiated Base Fee between the City and the Engineer as depicted below.

At the date of execution of this contract, the estimated design fees are as follows:

Base Fee:	\$97,000
Survey Fee:	\$40,000
<u>Unforeseen Items:</u>	<u>\$20,000</u>
Total Fee:	\$157,000

The fee amount identified as Unforeseen Items shall be used at the discretion of the City to pay the Engineer for unforeseen Special Services (Section 5(B)) or Additional Work (Section 6(B)) necessary for the proper design of the construction documents in accordance with the intent of this contract. No portion of this item shall be paid to the Engineer, nor shall the Engineer perform extra work, without written authorization from the City. The City shall retain all Unforeseen Items funds not authorized during the design of the project.

Compensation shall be paid as follows:

1. Upon acceptance of Preliminary and Surveying Phases, 35% of the total compensation, less unforeseen item cost.
2. Upon acceptance of Preliminary Plans, 50% of total compensation, less unforeseen item cost. (Cumulative compensation equal to 85%).
3. Upon acceptance of Final Plans, 10% of total compensation, less unforeseen item cost. (Cumulative compensation equal to 95%).
4. The City shall retain the final 5% of total compensation, less unforeseen item cost, until completion of the final inspection of the Construction Phase of this contract **and "permanent" monumentation has been established** as described in Section **(2(D)4)** of this contract.

The Engineer may submit monthly, or less frequent, requests for payment based on the estimated completion of the described tasks and approved work schedule. This fee covers all typical cost associated with the project administration, design & development, including, but not limited to, mileage, copies, phone, labor, overhead, maintenance, printing, copying, and all other incidental costs. The Engineer must submit their request for payment using the City's forms as shown in Appendix "B" of this contract, or in a format approved by the City.

(B) Special Services:

The Engineer's compensation for "special services" shall be based on the "Engineer's Established Hourly Rates" a copy of which is attached hereto as Attachment "B". Statements for special services may only be submitted on a monthly basis. The Engineer shall advise the City in advance when the Engineer contends that a particular service falls into the "special services" category. No service shall be compensated as a special service unless and until approved by the City. As used in this Contract, the term "special services" means:

1. Additional land surveys to establish project boundaries that require the surveyor to access properties beyond those adjacent to the project.
2. Preparation of any special reports required for marketing of bonds.
3. Appearances before regulatory agencies other than the City.
4. Assistance to the City as an expert witness in any litigation with third parties arising from the development or construction of the Project.
5. Special investigations involving detailed consideration of operation, maintenance and overhead expenses; preparation of rate schedules; earnings and expense statements; special feasibility studies, appraisals, valuations, and material audits or inventories required for certification of force account construction performed by the Owner.
6. Soil and foundation investigations, including field and laboratory tests, borings, related engineering analyses, and recommendations.
7. Detailed mill, shop and laboratory inspection of materials or equipment.
8. Preparation of estimates and Engineer's rolls necessary for assessments.
9. Additional copies of reports and specifications (over agreed number) and additional blueprint copies of drawings (over agreed number).
10. Preparation of applications and supporting documents for government grants or planning advances for public works projects.
11. Preparation of environmental statements and assistance to the City in preparing for and attending public hearings.
12. As a result of the creation of new right-of-way, the surveyor shall establish and monument right-of-way geometry and new property corners for adjoining parcels upon completion of project. New monumentation shall conform to the minimum technical standards of the Texas Board of Professional Land Surveying, or as specified by the City. A Registered Professional Land Surveyor must certify the following on the face of the project "As-Built" Right-Of-Way Map:

A survey has been completed for the additional right-of-way shown on the accompanying map; and as of [insert completion date of survey here], all monuments found or placed defining the right-of-way geometry or right-of-way parcels have been field verified as to their existence and location as originally

found or have been reset (if unstable/disturbed or destroyed) in accordance with the minimum technical standards of the Texas Board of Professional Land Surveying.

13. On projects where no new right-of-way is acquired, upon completion of the project the surveyor shall, verify existence of, or reset, found right-of-way monumentation and property corners for adjoining parcels. New monumentation shall conform to the minimum technical standards of the TBPLS and City specifications. A Registered Professional Land Surveyor must certify the following on the face of the project "As-Built" Right-Of-Way Map:

A retracement survey has been completed of the right-of-way shown on the accompanying map; and as of [insert completion date of survey here], all monuments found or placed defining the right-of-way geometry or existing adjoining parcels have been field verified as to their existence and location as originally found or have been reset (if unstable/disturbed or destroyed) in accordance with the minimum technical standards of the Texas Board of Professional Land Surveying.

14. Acquisition of individual federal or state permits that may be required. (Note: This does not apply to federal or state general permits.)
15. Easements or parcel descriptions in addition to those specified in Section 2(C)(6).

(C) Records of Expenses:

Engineer shall maintain reasonably detailed records of all work done on behalf of the City under this Contract and of all expenses incurred for which Engineer seeks payment or reimbursement and shall promptly provides such records to the City upon request.

Section 6. Changes to the Project and Additional Compensation.

(A) Changes to Work:

The Engineer shall make such revisions in the work included in this Contract, which has been completed as are necessary to correct any errors when required to do so by the City. No additional compensation shall be paid for such work. If the City finds it necessary to request changes to previously satisfactorily completed work or parts thereof, the Engineer shall make such revisions if requested and as directed by the City and such services will be considered as additional work and paid for as specified under following paragraph.

(B) Additional Work:

Work not within the description of the "Scope of Services" to be provided by the Engineer under this Contract and not otherwise constituting special services must be approved by supplemental agreement to this Contract by the City before the Engineer undertakes it. If the Engineer is of the opinion that any work is beyond the scope of this Contract and constitutes additional work, the Engineer shall promptly notify the City of that opinion, in writing. In the event the City finds that such work does constitute additional work, then the City shall so advise the Engineer, in writing, and shall provide extra compensation to the Engineer for the additional work on the same basis as covered under "Compensation" and as provided under a supplemental agreement. The fixed fee shall be adjusted if additional work is approved by supplemental agreement and performed by the Engineer.

Section 7. Miscellaneous Provisions.

(A) Subletting:

The Engineer shall not sublet or transfer any portion of the work under this Contract unless specifically approved in writing by the City. Subcontractors shall comply with all provisions of this Contract. The approval or acquiescence of the City in the subletting of any work under this Contract shall not relieve the Engineer of any responsibility for work done under this Contract.

(B) Ownership of Documents:

Upon completion or termination of this Contract, all documents prepared by the Engineer or furnished to the Engineer by the City shall be delivered to and become the property of the City. All sketches, charts, calculations, plans, specifications and other data prepared under this Contract shall be made available, upon request, to the City without restriction or limitation on the further use of such materials. The Engineer may, at the expense of the Engineer, have copies made of the documents or any other data furnished to the City under this Contract.

(C) Engineer's Seal; Warranty:

The Engineer shall place the Texas Professional Engineer's seal of endorsement of the principal engineer on all documents and engineering data furnished by the Engineer to the City. Engineer warrants that all work and services provided under this Contract will be performed in a good and workmanlike fashion and shall conform to the accepted standards and practices of the engineering profession.

(D) Compliance with Laws:

The Engineer shall comply with all Federal, State and local laws, statutes, ordinances, rules and regulations, and the orders and decrees of any courts or administrative bodies in any matter affecting the performance of this Contract, including, without limitation, worker's compensation laws, minimum and maximum salary and wage statutes and regulations, and licensing laws and regulations. When required, the Engineer shall furnish the City with satisfactory proof of compliance.

(E) Status of Engineer:

Engineer acknowledges that Engineer is an independent contractor of the City and that Engineer is not an employee, agent, official or representative of the City. Engineer shall not represent, either expressly or through implication, that Engineer is an employee, agent, official or representative of the City. Income taxes, self-employment taxes, social security taxes and the like are the sole responsibility of the Engineer.

(F) Non-Collusion:

Engineer represents and warrants that Engineer has not given, made, promised or paid, nor offered to give, make, promise or pay any gift, bonus, commission, money or other consideration to any person as an inducement to or in order to obtain the work to be provided to the City under this Contract. Engineer further agrees that Engineer shall not accept any gift, bonus, commission, money, or other consideration from any person (other than from the City under this Contract) for any of the services performed by Engineer

under or related to this Contract. If any such gift, bonus, commission, money, or other consideration is received by or offered to Engineer, Engineer shall immediately report that fact to the City and, at the sole option of the City, the City may elect to accept the consideration for itself or to take the value of such consideration as a credit against the compensation otherwise owing to Engineer under this Contract.

(G) Right To Audit:

The City shall have the right to examine and audit the books and records of the Contractor at any reasonable time. Such books and records will be maintained in accordance with generally accepted principles of accounting and will be adequate to enable determination of: 1) the substantiation and accuracy of any payment required to be made under this agreement; and 2) compliance with the provisions of this agreement.

Section 8. Termination of Contract. This Contract may be terminated:

1. By mutual agreement and consent of both Engineer and City.
2. By the City, immediately upon notice in writing to the Engineer, as consequence of the failure of Engineer to perform the services contemplated by this Contract in a timely or satisfactory manner and within the limits provided, with proper allowances being made for circumstances beyond the control of the Engineer.
3. By either party, upon the failure of the other party to fulfill its obligations as set forth in the "Scope of Services".
4. By the City, for reasons of it's own and not subject to the mutual consent of the Engineer, upon not less than thirty- (30) days written notice to the Engineer.
5. By satisfactory completion of all services and obligations described herein.

Should the City terminate this Contract, the Engineer shall not be entitled to any fees or reimbursable expenses other than the fees and reimbursable expenses then due and payable as of the time of termination. In determining the value of the work performed by the Engineer prior to termination, the City shall be the sole judge. Payment for work at termination will be based on work satisfactorily completed at the time of termination.

If the Engineer defaults in performance of this Contract or if the City terminates this Contract for fault on the part of the Engineer, the City will give consideration to the actual costs incurred by the Engineer in performing work to date of default, the value of the work which is usable to the City, the cost to the City of employing another engineer to complete the work required and the time required to do so, and other factors which affect the value to the City of the work performed at time of default.

If the termination of this Contract is due to the failure of the Engineer to fulfill a contract obligation, the City may take over the project and prosecute the work to completion by contract or otherwise. In such case, the Engineer shall be liable to the City for any additional cost incurred by the City in completing such work.

Section 9. Indemnification

Engineer agrees to indemnify, hold harmless, and defend the City of Garland, Texas and all of its present, future and former agents, employees, officials and representatives in their official, individual and representative capacities from and against any and all claims, demands, causes of action, judgments, liens and expenses (including attorney's fees, whether contractual or statutory), costs and damages (whether common law or statutory, and whether actual, punitive, consequential or incidental), of any conceivable character, due to or arising from injuries to persons (including death) or to property (both real and personal) created by, arising from, or in any manner relating to the services or goods performed or provided by Engineer to the fullest extent BUT ONLY TO THE EXTENT allowed under Sec. 271.904(a) of the Texas Government Code.

Section 10. Notices

Any notice required or desired to be given from one party to the other party to this Contract shall be in writing and shall be given and shall be deemed to have been served and received (whether actually received or not) if (i) delivered in person to the address set forth below; (ii) deposited in an official depository under the regular care and custody of the United States Postal Service located within the confines of the United States of America and sent by certified mail, return receipt requested, and addressed to such party at the address hereinafter specified; or (iii) delivered to such party by courier receipted delivery. Either party may designate another address within the confines of the continental United States of America for notice, but until written notice of such change is actually received by the other party, the last address of such party designated for notice shall remain such party's address for notice.

Section 11. No Assignment

Neither party shall have the right to assign that party's interest in this Contract without the prior written consent of the other party.

Section 12. Severability

If any term or provision of this Contract is held to be illegal, invalid or unenforceable, the legality, validity or enforceability of the remaining terms or provisions of this Contract shall not be affected thereby, and in lieu of each such illegal, invalid or unenforceable term or provision, there shall be added automatically to this Contract a legal, valid or enforceable term or provision as similar as possible to the term or provision declared illegal, invalid or unenforceable.

Section 13. Waiver

Either City or the Engineer shall have the right to waive any requirement contained in this Contract which is intended for the waiving party's benefit, but, except as otherwise provided herein, such waiver shall be effective only if in writing executed by the party for whose benefit such requirement is intended. No waiver of any breach or violation of any term of this Contract shall be deemed or construed to constitute a waiver of any other breach or violation, whether concurrent or subsequent, and whether of the same or of a different type of breach or violation.

Section 14. Governing Law; Venue

This Contract and all of the transactions contemplated herein shall be governed by and construed in accordance with the laws of the State of Texas. The provisions and obligations of this Contract are performable in Dallas County, Texas such that exclusive venue for any action arising out of this Contract shall be in Dallas County, Texas.

Section 15. Paragraph Headings; Construction

The paragraph headings contained in this Contract are for convenience only and shall in no way enlarge or limit the scope or meaning of the various and several paragraphs hereof. Both parties have participated in the negotiation and preparation of this Contract and this Contract shall not be construed either more or less strongly against or for either party.

Section 16. Binding Effect

Except as limited herein, the terms and provisions of this Contract shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, devisees, personal and legal representatives, successors and assigns.

Section 17. Gender

Within this Contract, words of any gender shall be held and construed to include any other gender, and words in the singular number shall be held and construed to include the plural, unless the context otherwise requires.

Section 18. Counterparts

This Contract may be executed in multiple counterparts, each of which shall be deemed an original, and all of which shall constitute but one and the same instrument.

Section 19. Exhibits

All exhibits to this Contract are incorporated herein by reference for all purposes wherever reference is made to the same.

Section 20. Entire Agreement

It is understood and agreed that this Contract contains the entire agreement between the parties and supersedes any and all prior agreements, arrangements or understandings between the parties relating to the subject matter. No oral understandings, statements, promises or inducements contrary to the terms of this Contract exist. This Contract cannot be changed or terminated orally.

Section 21. Relationship of Parties

Nothing contained in this Contract shall be deemed or construed by the parties hereto or by any third party to create the relationship of principal and agent or of partnership or of joint venture or of any association whatsoever between the parties, it being expressly understood and agreed that no provision contained in this Contract nor any act or acts of the parties hereto shall be deemed to create any relationship between the parties other

than the relationship of independent parties contracting with each other solely for the purpose of effecting the provisions of this Contract.

Section 22. Dispute Resolution.

Pursuant to subchapter I, Chapter 271, TEXAS LOCAL GOVERNMENT CODE, Contractor agrees that, prior to instituting any lawsuit or other proceeding arising from any dispute or claim of breach under this Agreement (a "Claim"), the parties will first attempt to resolve the Claim by taking the following steps: (i) A written notice substantially describing the factual and legal basis of the Claim shall be delivered by the Contractor to the City within one-hundred eighty (180) days after the date of the event giving rise to the Claim, which notice shall request a written response to be delivered to the Contractor not less than fourteen (14) business days after receipt of the notice of Claim; (ii) If the response does not reasonably resolve the Claim, in the opinion of the Contractor, the Contractor shall give notice to that effect to the City whereupon each party shall appoint a person having authority over the activities of the respective parties who shall promptly meet, in person, in an effort to resolve the Claim; (iii) If those persons cannot or do not resolve the Claim, then the parties shall each appoint a person from the highest tier of managerial responsibility within each respective party, who shall then promptly meet, in person, in an effort to resolve the Claim.

EXECUTED on the dates indicated below but deemed to be effective as of the _____ day of _____, 2014.

CITY:

ENGINEER:

By: _____
Name: _____
Title: _____
Date: _____

By: _____
Name: _____
Title: _____
Date: _____

ADDRESS FOR NOTICE:

CITY:

ENGINEER:

City of Garland
Engineering Department
P.O. Box 469002
Garland, Texas 75046-9002
972-205-2170

Kimley-Horn and Associates, Inc.
12750 Merit Drive
Suite 1000
Dallas, Texas 75251
972-770-1300

ATTACHMENT "A"

SCOPE OF SERVICES

Agreement between the City of Garland, Texas (City) and Kimley-Horn and Associates, Inc. (Consultant)

For the following project: 2014 Water and Wastewater Improvements

PROJECT DESCRIPTION

The City of Garland desires to replace aging water and sewer infrastructure at three different locations within the city. The location of the first segment is S. Country Club from Marilee to Iroquois. This segment includes approximately 1,500 linear feet of 8" water replacement and 1,500 linear feet of 8" wastewater replacement. Part of the water design will be to determine if any existing water services are tied to the existing 42" water main running in S. Country Club, and if so, they will be relocated to the new 8" water main. There is also an existing parallel wastewater main serving two homes that the design will seek to eliminate as part of the replacement project.

The second segment is Stonewall from Southern to Quail Hollow. This segment includes approximately 1,850 linear feet of 8" water replacement. The third and final segment is Rollingridge from Wildbriar to O'Banion. This segment includes approximately 2,600 linear feet of 8" water replacement. All three segments will be included in one plan set and bid as one project.

In the course of replacing the water and/or wastewater infrastructure, the City also desires to replace the pavement for a portion of the segment based on condition. Coordination with the Streets Department during design will determine the limits of the pavement replacement. Barrier free ramp upgrades to intersections with non-existing or sub-standard barrier free ramps is also included in this scope of services.

TASK SUMMARY

The standard City of Garland Engineering Services contract will govern the scope of services, with the following clarifications:

- A traffic control plan in accordance with the Texas Manual on Uniform Control Devices will be provided for S. Country Club and for the intersection of Rollingridge and O'Banion. For the remainder of the project, lower traffic volumes and relatively minor impacts to traffic flow are expected, so no traffic control plan will be provided.
- No easements are expected to be required as part of this project. If easements are discovered to be necessary over the course of the design, they will be prepared at the Special Services rate of \$1500 for each easement plat/field note. Easement acquisition services are not included.
- To determine the limits of pavement replacement, the Consultant will meet on-site with City staff from Engineering and the Streets Department to walk each design segment. City staff will dictate the limits of the pavement replacement during walk-through, and the Consultant will incorporate the paving replacement limits into the plans.

METHOD OF COMPENSATION

The Consultant will provide the following Basic Services as identified in the Scope of Services based on a lump sum amount of **\$137,000**. We recommend you budget the following amounts:

1.	Preliminary Phase	\$9,600
2.	Survey Phase	\$40,000
3.	Design Phase	\$80,400
4.	Construction Phase	<u>\$7,000</u>
		\$137,000

All permitting, application, and similar project fees will be paid directly by the City.

- End of Scope of Services -

ATTACHMENT "B"

SPECIAL SERVICES

For the following project:

2014 Water and Wastewater Improvements

Labor fee for Special Services will be billed according to the rate schedule below, which is subject to annual adjustment.

	<u>Hourly Rates</u>
Senior Professional I	\$200 - \$230
Senior Professional II	\$175 - \$220
Professional	\$140 - \$185
Analyst	\$135 - \$150
Designer	\$100 - \$165
Technical Support	\$70 - \$150
Clerical/Administrative Support	\$60 - \$115
Easements	\$1500/each

Rates effective as of July 2014

ATTACHMENT "C"

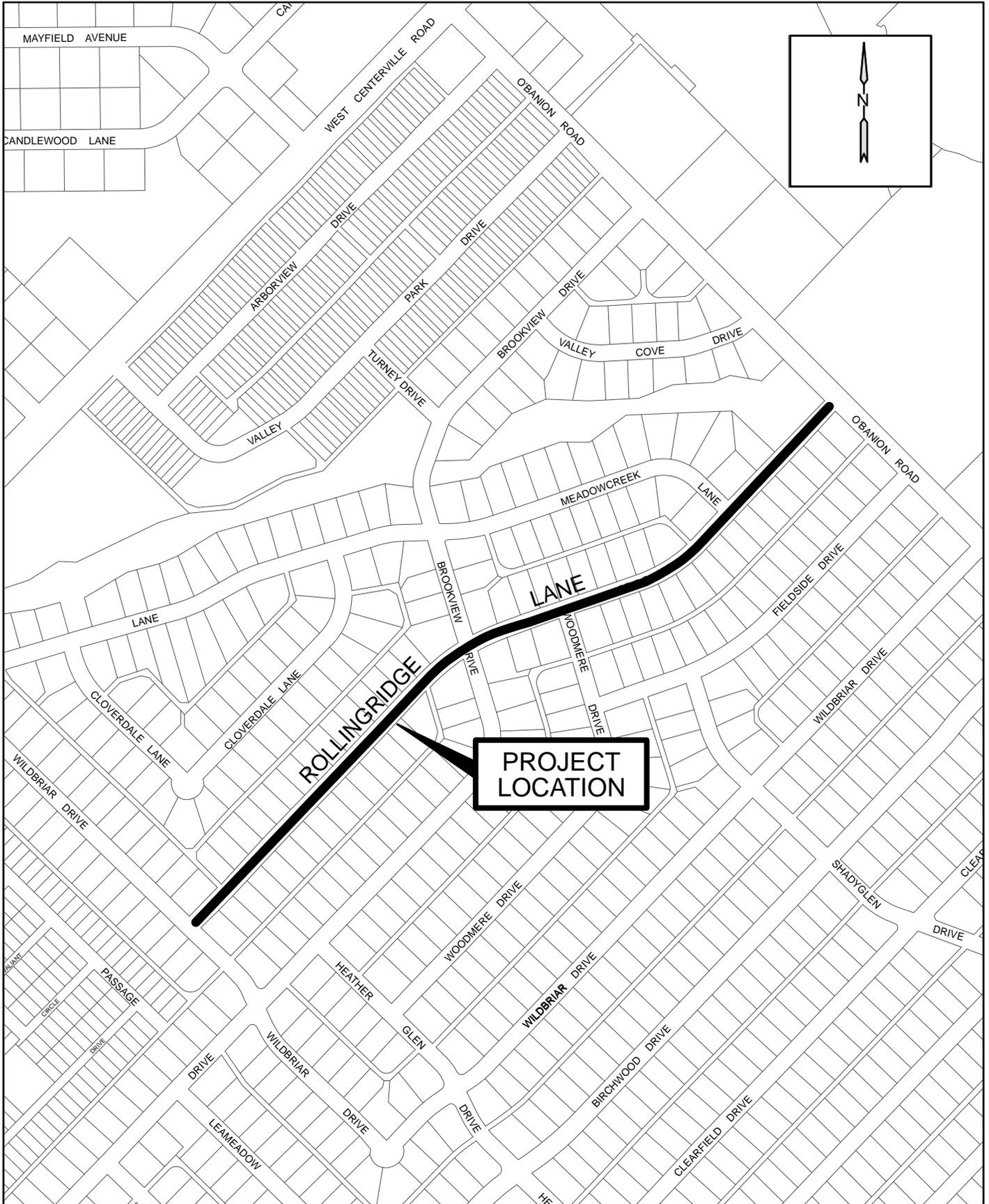
ANTICIPATED SCHEDULE

For the following project:

2014 Water and Wastewater Improvements

The Consultant presents the following anticipated project schedule. The schedule is contingent upon obtaining City Council approval and receiving a Notice to Proceed by the end of August.

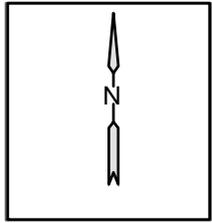
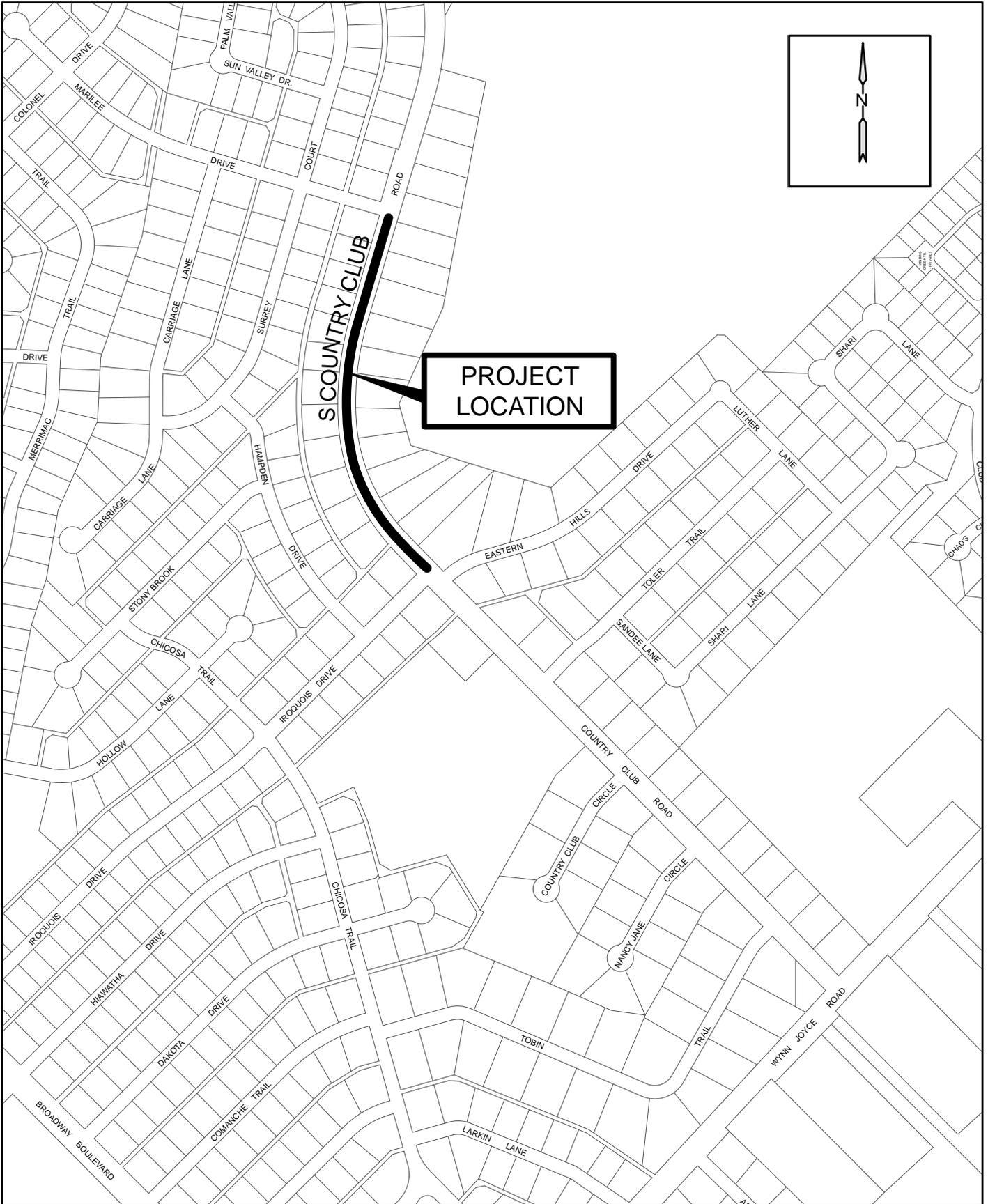
Milestone	2014						2015		
	July	August	September	October	November	December	January	February	March
1. Engineer Fee Proposal	■								
2. Council Approval & Notice to Proceed		■							
3. Surveying Phase			■	■					
4. Preliminary Plans and Specifications (60%)				■	■	■			
5. City Review of Preliminary Plans (60%)						■	■		
6. Final Plans and Specifications (95%)							■	■	
7. City Review of Final Plans (95%)								■	■
8. Advertising Documents									■



**ROLLINGRIDGE LN
WILDBRIAR DR TO O'BANION RD**

Scale: 1"=400'
 File: Rollingridge
 Date: 08/05/2014
 Drawn: jmk

SHEET
 1
 OF
 1



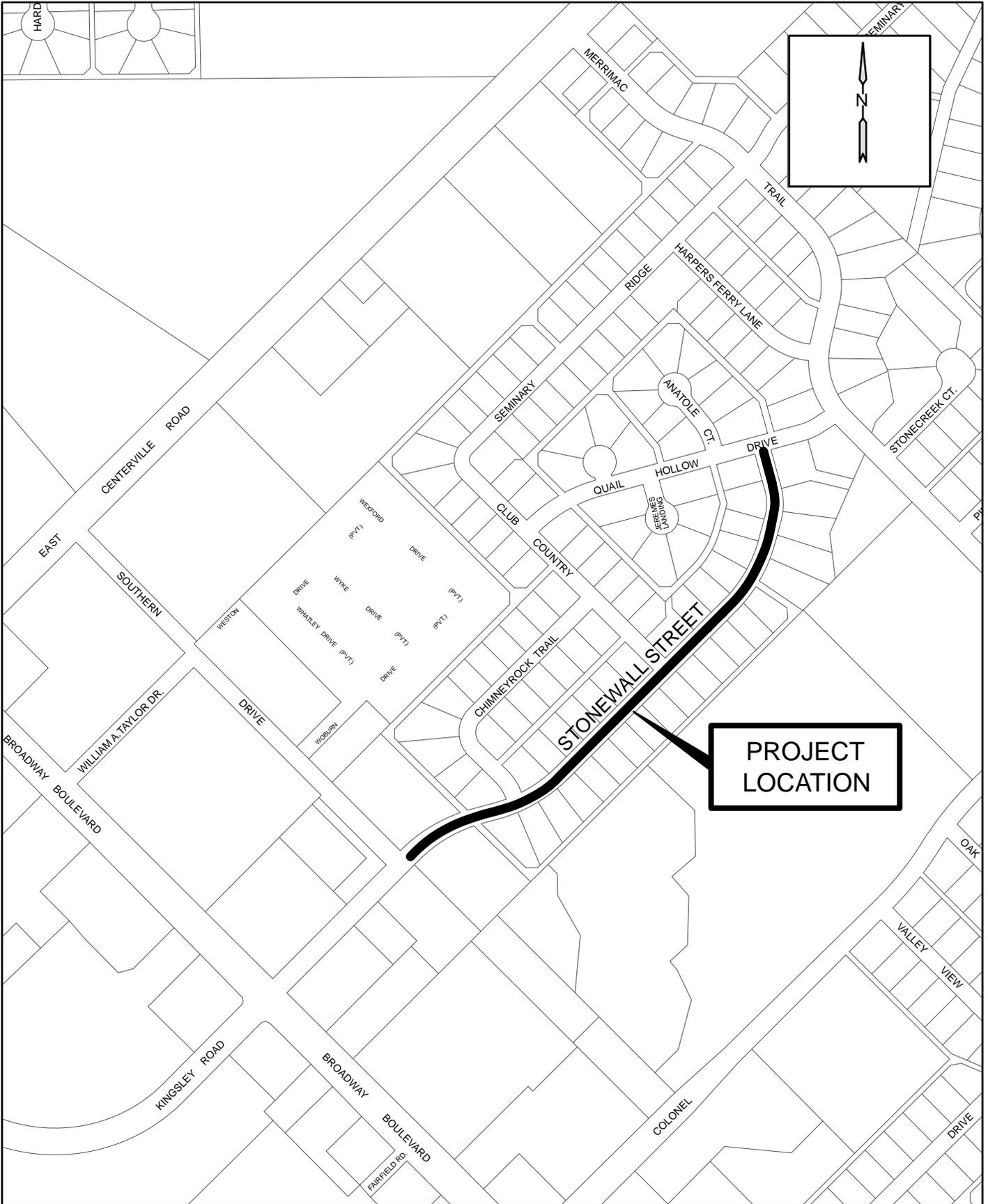
**PROJECT
LOCATION**



**S COUNTRY CLUB RD
MARILEE DR TO IROQUOIS DR**

Scale: 1"=500'
 File: S Cntry Club
 Date: 08/05/2014
 Drawn: jmk

SHEET
 1
 OF
 1



**PROJECT
LOCATION**



**STONEWALL STREET
SOUTHERN DR TO QUAIL HOLLOW**

Scale: 1"=400'
 File: Stonewall
 Date: 08/05/2014
 Drawn: jmk

SHEET
 1
 OF
 1



City Council Item Summary Sheet

Work Session

Date: August 19, 2014

Agenda Item

LAND AND BUILDING PURCHASE FOR GARLAND POWER & LIGHT TRANSMISSION ENGINEERING AND COMPLIANCE

Summary of Request/Problem

Garland Power & Light (GP&L) is requesting approval to purchase a 6,000 square-foot office building on 0.9637 acres of land located at 510 W. Avenue B in Garland for a not-to-exceed amount of \$545,000 in order to accommodate and consolidate the officing of GP&L's transmission engineering and compliance personnel.

As Garland Power & Light (GP&L) increases its presence in constructing, owning, and maintaining transmission facilities, as well as responding to regulatory compliance requirements for transmission assets and service, additional transmission personnel positions have been filled by GP&L to meet these demands. GP&L's Transmission & Distribution (T&D) building does not have sufficient space for this additional staffing. In addition, transmission compliance staff is currently spread across several locations. GP&L has been planning for a new T&D building for many years in response to space limitations and the age and condition of the existing T&D building. However, the acquisition of this land and associated building is more cost effective than constructing a new T&D building.

An independent appraisal of the building and land was performed. The appraiser's opinion of market value for the building and land as of July 25, 2014 was \$581,000.

This item was scheduled for Council consideration at the August 17, 2014 Work Session.

Recommendation/Action Requested and Justification

Approve a Resolution authorizing the purchase of a 6,000 square-foot office building on 0.9637 acres of land located at 510 W. Avenue B in Garland for a not-to-exceed amount of \$545,000.

Submitted By:

Jeff Janke
GP&L Managing Director

Approved By:

William E. Dollar
City Manager

RESOLUTION NO. _____

A RESOLUTION APPROVING THE CONTINGENCY CONTRACT EXECUTED BY THE CITY MANAGER AND EXCEPTIONAL ENTERPRISES, LLC; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, on the 25th day of July, 2014, the City of Garland entered into a Contract of Sale with Exceptional Enterprises, LLC, contingent upon the approval of the City Council of the City of Garland, for purpose of the City purchasing real property for the amount of \$545,000.00, owned by Exceptional Enterprises, LLC, and located at 510 W. Ave B, Garland, Texas (the "Property").

WHEREAS, the City retained Integra Realty Resources to conduct an appraisal of the Property, which determined the market value of the Property to be \$581,000.00 as of July 25, 2014.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That the contingency contract of sale entered into between the City of Garland and Exceptional Enterprises, LLC, a copy of which is attached hereto as Exhibit "A", is hereby approved.

Section 2

That this Resolution shall be and become effective immediately upon and after its adoption and approval.

PASSED AND APPROVED this the ____ day of _____, 2014.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary



Planning Report

Sargent Design

2101 West Walnut Street

REQUEST

Approval of 1) an amendment to Planned Development District (93-10) for Complex for the Elderly and 2) a Detail Plan for Independent Senior Living Facility.

OWNER

Las Brisas Properties, Inc.

PLAN COMMISSION RECOMMENDATION

On July 28, 2014 the Plan Commission, by a vote of eight (8) to zero (0), recommended approval of 1) an amendment to Planned Development District (93-10) for Complex for the Elderly, 2) a Detail Plan for Independent Senior Living Facility.

Additionally, Plan Commission approved variances to the Senior Living and Related Facilities Standards, including to Section 34.51.D(4) to reduce the required setback from a residential district, Section 34.52 regarding screening and landscaping and Section 34.51(E) regarding covered parking.

STAFF RECOMMENDATION

Approval of 1) an amendment to Planned Development District (93-10) for Complex for the Elderly and 2) a Detail Plan for Independent Senior Living Facility. The redevelopment of the site is needed and will improve the overall function of the use.

BACKGROUND

The applicant is requesting approval of an amendment to Planned Development (PD) District 93-10 and a Detail Plan to redevelop the subject property with a 26 unit Independent Senior Living Facility consisting of two (2), three-story buildings. The subject property is currently developed with an independent/assisted living facility consisting of approximately 24 bedrooms. The site developed under the previous Complex for the Elderly ordinance. The applicant proposes to demolish the existing facility and construct a new development subject to the Detail Plan and conditions.

SITE DATA

The subject property contains approximately 1.030-acres with access from West Walnut Street.

USE OF PROPERTY UNDER CURRENT ZONING

The Planned Development (PD) District 93-10 provides for a Complex for the Elderly which permits Independent and Assisted Living Facilities. The site was developed with the existing building in approximately 1963 as a nursing home and was reopened under the current use in 1993. The original detail plan included 26 rooms within a one-story building. With the Planned Development based in Multi-Family (MF-18) District, an Independent Senior Living Facility, as it is currently defined, is a permitted use.

CONSIDERATIONS

1. The applicant is requesting the amendment to the Planned Development and Detail Plan for a 23,810 square foot Independent Senior Living Facility with approximately 26 dwelling units. The structure consists of two, three (3) story circular buildings connected by a common breezeway housing stairs and an elevator. The existing facility will be demolished and the current residents relocated to another facility operated by the current owner. The current development was constructed prior to the Senior Living Facilities Ordinance which now governs this type of use.
2. Independent senior living facility is defined as a facility containing dwelling units, accessory uses and support services specifically designed for occupancy by persons 60 years of age or older. Such facilities may include accommodations for persons who are fully ambulatory or who require no medical or personal assistance or supervision, as well as accommodations for persons who require only limited or intermittent medical or personal assistance.
3. The proposed redevelopment for an independent senior living facility, with its scale and overall appearance and function, should be a compatible addition to the surrounding area with little to no impact. The properties immediately adjacent to the subject property to the west, north and east are zoned and developed with multi-family. The density for development would be approximately 25 dwelling units per acre but all of the units would be housed within the two, three (3) story buildings.
4. The buildings would be three-story measuring approximately 30 feet in height at the apex of the roof. The units are proposed to primarily be one bedroom (25 rooms) with one two bedroom. The Senior Living Standards states the average minimum dwelling unit size shall be 600 square feet. One bedroom units shall have a minimum dwelling unit size of 475 square feet. Two bedroom units shall have a minimum dwelling unit size of 725 square feet. No dwelling unit shall contain more than two bedrooms. No efficiency units shall be permitted.

The floor plan reflects an average minimum dwelling unit size of 600 square feet and each unit meets the minimum dwelling unit size dictated by the ordinance.

5. Building Placement: Per Section 34.51(D)(4), no building of a senior living facility shall be less than fifty (50) feet from the property line of an abutting residential district (forty feet if the area is landscaped with additional landscaping) for buildings not exceeding 30 feet. A variance was approved to allow for a thirty foot setback along the northeast property line from the adjacent multi-family zoned property. The existing building is approximately 22 feet from the adjacent property. The applicant is providing additional landscaping within this area.
6. Common Area: Section 34.51 of the Senior Living Standards stipulates that 100 square feet of common area must be provided for each dwelling unit. Common area includes areas for living/sitting, dining, library, gaming, exercising, dancing or other recreational activities. Since 26 units will be provided, there must be a minimum of 2,600 square feet of common area. The floor plan reflects approximately 3,561 square feet of common area within the buildings. There is a communal dining room and kitchen on the first floor and each floor includes a common area centered between all the units.
7. Storage Space: Except for nursing home/convalescent centers, an enclosed storage space shall be provided for each dwelling unit within a senior living facility with direct access provided from the dwelling unit. Each storage space shall be a minimum of twenty-five (25) square feet in area and shall contain not less than one hundred seventy-five (175) cubic feet. The floor plan reflects two closets/storage spaces within each unit with a total of at least 25 square feet.
8. Per Section 34.51(B)(3)(b), in addition to individual storage spaces, a senior living facility other than nursing home/convalescent centers shall provide a common storage area with a minimum of fifty (50) square feet per dwelling unit. A total of 1,300 square feet of common storage area is required for this development and the minimum is met.
9. Parking: One parking space shall be provided for each dwelling unit. In addition, one parking space shall be provided for each day shift member and one space per 20 dwelling units for guests. There are 35 parking spaces reflected on the Detail Plan, in accordance with the parking requirement.
10. A minimum of 50% of the required parking spaces must be contained in either an attached enclosed garage or detached multi-car covered parking structure. The site is required to provide covered parking for at least 16 parking spaces. A variance was approved to Section 34.51(E) to provide covered parking for 12 spaces.
11. Perimeter Screening: Section 34.52(B) of the Senior Living Standards requires perimeter fencing and landscaping of a six foot tall ornamental fence with masonry columns and evergreen shrubs along all property lines. A variance was approved to eliminate any perimeter fencing along the property line to the west between the subject property and the adjacent multi-family development and along a portion of the front property line along West Walnut Street.

12. The site complies with the other screening and landscape requirements of the Senior Living Standards including the minimum of 40% of the site dedicated to landscaping/open space, parking lot landscaping and screening.
13. Signage: Section 34.54 of the Senior Living Standards reflects that freestanding signage shall be limited to one monument sign on any site. The monument sign shall not exceed 35 square feet in sign face area and 7 feet in height, and shall be setback 15 feet from the property line.
14. Building Materials: Section 34.51(4) of the Senior Living Standards stipulates that each exterior wall of all buildings must provide a minimum of 75% brick or stone, excluding doors and windows. The elevations reflect that the exterior walls will consist of brick, stone and EIFS in accordance with the ordinance.
15. Building Articulation: The Senior Living Standards also requires that 30% of the front façade shall be offset a minimum of 4 feet for buildings that are in excess of 80 feet in length. Given the circular nature of the buildings and the addition of pilasters on all sides, the front façade has been off-set to meet this requirement as reflected on the Detail Plan.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Comprehensive Plan recommends Business Center for the subject property. Business centers provide a cluster of business offices and/or low impact industry, including campus-type developments, that cumulatively employs large numbers of people. Operations within this development type occur internal to buildings resulting in minimal negative impacts (sound, air, traffic, outdoor lighting, storage, etc.) and are compatible with adjacent development types in architecture, character, scale, and intensity. The land use recommendation within Envision Garland reflects a long term redevelopment effort that would include the subject property and adjacent properties transitioning from residential to non-residential.

The redevelopment of the site for independent senior living is consistent with the existing development pattern of the surrounding properties and meets the goals within Envision Garland by the improved aesthetics of the site and overall reinvestment into an existing residential area.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The subject property is located within an area that is zoned Multi-Family to the north, east and west and Single Family to the south, across West Walnut Street. The property has operated as a senior living facility since 1963 when it was developed as a nursing home. The facility converted into an independent/assisted living facility in 1993 and has continued to operate throughout that time. Senior living facilities are viewed as residential uses and as such are compatible amongst other residential uses.

The nature of the surrounding area is primarily residential in character with multi-family being the dominant development type immediately adjacent to the subject property. The redevelopment of the site allows for the continued use of the property for the existing purpose but with meeting the current requirements of the Senior Living Standards.

Prepared By:

Chasidy Allen, AICP
Principal Planner

Date: August 6, 2014

Reviewed By:

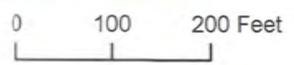
Anita Russelmann
Director of Planning

Date: August 7, 2014

Reviewed By:

William E. Dollar
City Manager

Date: August 8, 2014



ZONING Z 14-17

 INDICATES AREA OF REQUEST

PLANNED DEVELOPMENT CONDITIONS

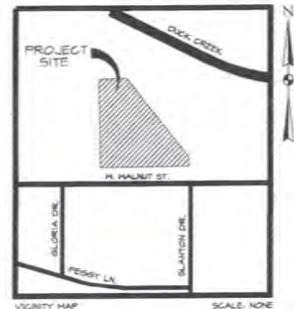
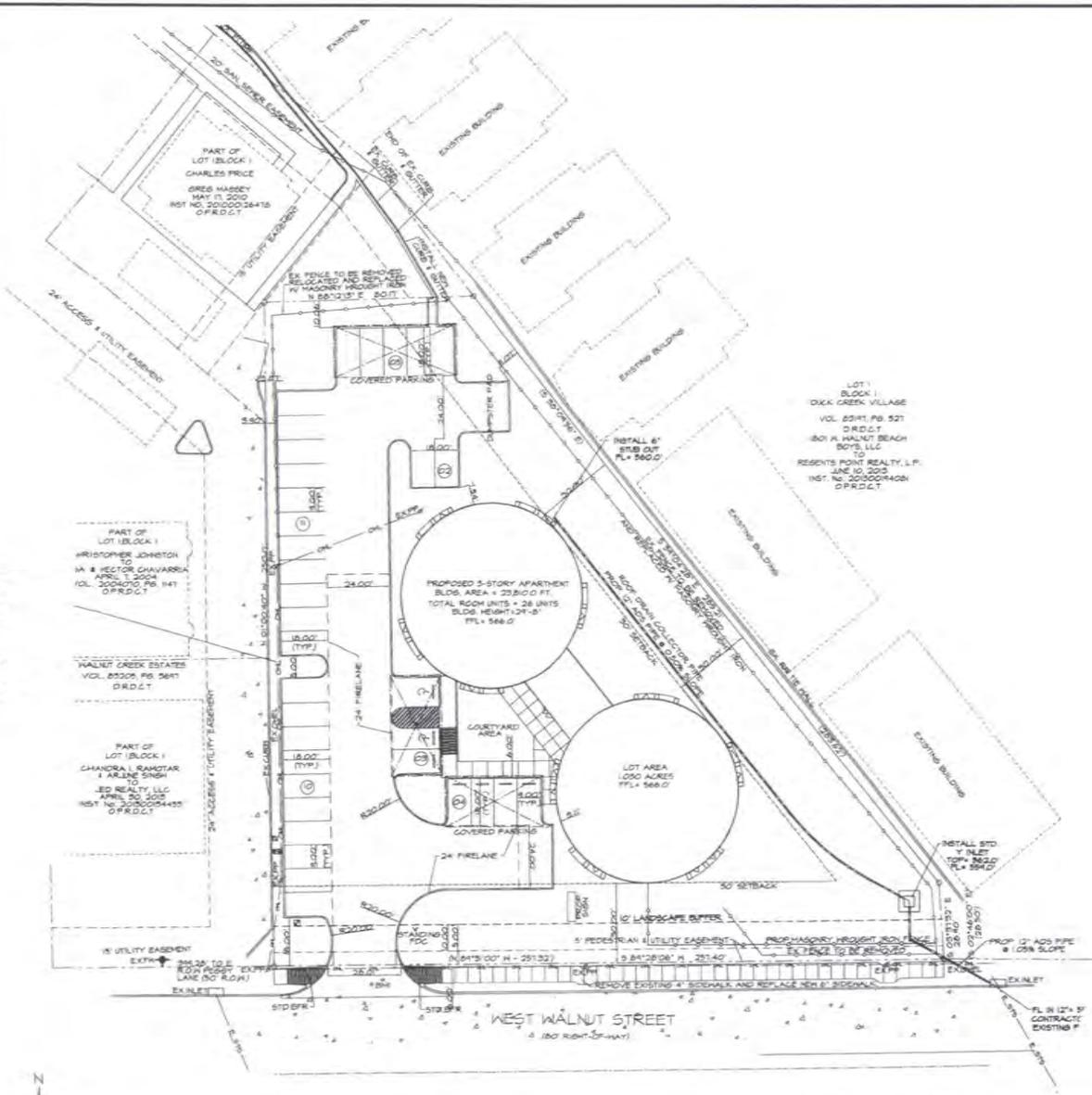
ZONING FILE 14-17

2101 West Walnut Street

- I. **Statement of Purpose:** The purpose of this Planned Development District is to permit the construction of an independent senior living facility subject to conditions.
- II. **Statement of Effect:** This Planned Development District shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All development shall comply with Ordinance No. 5410, Senior Living and Related Facilities. All regulations of the Multi-Family District set forth in Section 19, and 32 of the Comprehensive Zoning Ordinance, Ordinance No. 4647 are included by reference and shall apply, except as otherwise specified in this ordinance.
- IV. **Development Plans:**
 - A. Detail Plan: Development shall be in general conformance with the approved Detail Plan set forth in Exhibit C; however, in the event of conflict between the Detail Plan and the conditions, the conditions shall prevail.
- V. **Specific Regulations:**
 - A. Permitted Uses: No uses shall be permitted except for an Independent Senior Living Facility.
 - B. Density: The maximum density shall be approximately 25 dwelling units per acre.
 - C. Setbacks: The buildings shall be setback approximately thirty (30) feet from the residential property to the northeast. The site shall comply with all other setbacks as reflected on the Detail Plan (Exhibit C).
 - D. Architectural Standards and Building Façade: A minimum of 75% brick and/or stone shall be provided for each building. Exterior elevations shall be in conformance with the approved elevations (Exhibit E).
 - E. Landscaping: No perimeter fencing or screening shall be provided along the western property line and a portion of the southern property line adjacent to West Walnut Street. A six (6) foot tall wrought iron fence with brick columns and six (6) foot tall continuous row of evergreen shrubs shall be provided along the northern and eastern property line and portion of the southern property line. Landscaping shall be in general conformance with the approved Landscape Plan (Exhibit D).

- F. Covered Parking: Approximately 40% of the parking spaces shall be covered parking (12 parking spaces).
- G. Signage: One monument sign shall be permitted on the subject property with the size and setback in compliance with the Senior Living Standards.
- H. Common Storage Areas: A minimum of 1,300 square feet of indoor common storage areas shall be provided.

EXHIBIT C



LEGEND

SANITARY SEWER MANHOLE	SS
STORM SEWER MANHOLE	SM
CLEAN OUT	CO
FIRE HYDRANT	FH
POWER POLE	PP
TELEPHONE BOX	TB
WATER METER	WM
GATE VALVE	GV
LIGHT POLE	LP
IRRIGATION SPROKLER HEAD LOCATION	IR
VAN ACCESSIBLE HANDICAP PARKING	HA
RIGHT OF WAY	ROW
EXIST. LIGHTPOLE	ELP
DRAINAGE & UTILITY EASEMENT	DEUE
DRAINAGE FLOH ARROW	DF
PROPOSED SANITARY SEWER PIPE	SS
EXISTING SANITARY SEWER PIPE	SS
PROPOSED WATER LINE	WL
EXISTING WATER LINE	WL
PROPOSED POWER LINE	PL
EXISTING POWER LINE	PL
PROPOSED TELEPHONE LINE	TL
EXISTING TELEPHONE LINE	TL
PROPOSED GAS LINE	GL
EXISTING GAS LINE	GL
PROPOSED STORM SEWER PIPE	SS
EXISTING STORM SEWER PIPE	SS
PROPOSED GUY WIRE	GW
EXISTING GUY WIRE	GW
OVERHEAD ELECTRICAL LINE	OL
EXISTING FIBER OPTICS CABLE	FO
PROPOSED PARKING COVER	PC

ENGINEERING SITE PLAN AND DIMENSION CONTROL
 SCALE: 1" = 20'-0"
 GRAPHIC SCALE
 0 20 40

LOT AREA	PROPOSED 3-STORY APARTMENT
LOT AREA	1.080 ACRES
PARKING REQUIRED	SPACE/UNIT = 26 SPACES SPACE/20 UNITS = 2 SPACES FOR GUEST PARKING FOR EVERY STAFF = 3 SPACES 31 SPACES
PARKING FURNISHED	34 SPACES
HC PARKING REQUIRED	2 SPACES (1 VAN)
HC PARKING PROVIDED	2 SPACES (1 VAN)

GENERAL NOTES:

1. COMMENCEMENT OF WORK BY ANY CONTRACTOR OR SUBCONTRACTOR SHALL BE CONSIDERED EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.
2. PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL ANALYZE THE JOB SITE CONDITIONS, ALL DIMENSIONS, SETBACKS, PROPERTY LIMITS, UTILITY CONDITIONS. IF THE CONTRACTOR OBSERVES ANY ERRORS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS HE SHALL PROMPTLY NOTIFY THE PROJECT SUPERINTENDENT FOR CLARIFICATION. IF SUCH WORK PROCEEDS WITHOUT CLARIFICATION IT IS AT THE RISK OF THE CONTRACTOR. ANY CHANGES MADE BY CONTRACTOR PRIOR TO ARCHITECT'S CLARIFICATION SHALL BE AT THE CONTRACTOR'S RISK. THE SETTLEMENT OF ANY COMPLICATIONS OR DISPUTES ARISING FROM THIS SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
3. ALL DIMENSIONS ARE TO REFER BACK TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS. NO MEASUREMENTS ARE TO BE SCALED FROM THE DRAWINGS.
4. ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS OF THE CITY OF GARLAND, TEXAS.
5. CONTRACTOR SHALL PROVIDE "AS BUILT" PLANS TO THE ENGINEER SO THAT THE REPRODUCIBLES OF THE ENGINEERING PLANS MAY BE CONNECTED TO REFLECT "AS BUILT" CONDITIONS.
6. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE AND MAINTAIN ALL NECESSARY WARNING AND SAFETY DEVICES (FLASHING LIGHTS, BARRICADES, SIGNS, ETC.) TO PROTECT THE PUBLIC SAFETY AND HEALTH UNTIL THE WORK HAS BEEN COMPLETED AND ACCEPTED BY THE CITY.
7. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND VERIFY IN THE FIELD ANY UTILITIES THAT MAY CONFLICT WITH THIS CONSTRUCTION. AT LEAST 24 HOURS PRIOR TO BEGINNING CONSTRUCTION IN THE VICINITY OF UNDERGROUND UTILITIES, NOTIFY THE FOLLOWING AGENCIES:

BUILDING INSPECTION	412-205-2323
CODE COMPLIANCE	412-469-8400
ENGINEERING DEPARTMENT	412-205-2100
FIRE DEPARTMENT	412-181-7000
PLANNING & COMMUNITY DEVELOPMENT	412-205-2445
STREET DEPARTMENT	412-205-8558
UTILITY SERVICES	412-205-2671

PROJECT STATUS:
 PRELIMINARY
 PROJECT MANAGER:
 DUYNE RAM
 DESIGN MANAGER:
 ROM
 PROJECT DATE:
 02/21/14
 REVISION DATE:
 08/11/14

LAS BRISAS PROPERTIES
 2101 W. WALNUT STREET
 CITY: TEXAS

ADR-DESIGNS-LLC
 TOTAL DESIGN MANAGERS
 801 SADDLE HILL DRIVE, GRAND PRAIRIE, TX 75050
 PH: 972-292-1333 FAX: 214-272-2807
 E-Mail: adrdesigns@adrdesigns.com
 POB: JOHN C. DUNCAN

GARLAND SENIOR CENTER
 2101 W. WALNUT STREET
 GARLAND COUNTY, TEXAS

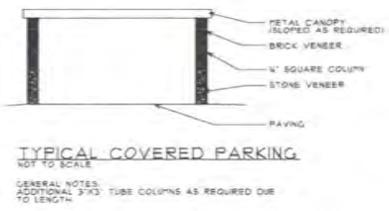
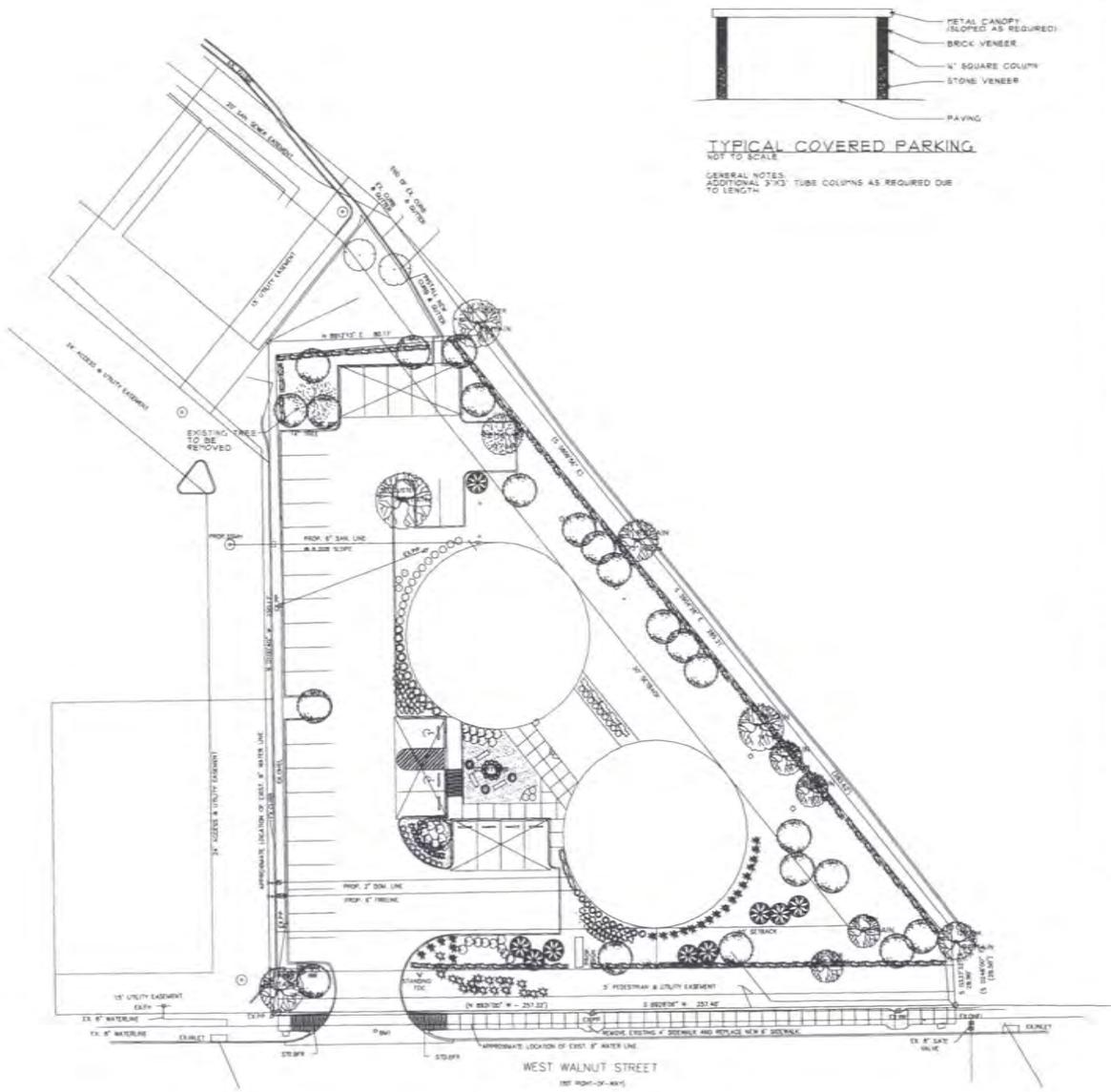


ENGINEERING
 1805 W. WALNUT STREET, SUITE 100
 GARLAND, TEXAS 75042
 PH: (409) 544-1100 FAX: (972) 791-2003
 EMAIL: john@adr.com
 JOHN C. DUNCAN

JOB NUMBER:

SHEET NUMBER
C1
 ENGINEERING SITE PLAN AND DIMENSION CONTROL

EXHIBIT D



LANDSCAPE LEGEND			
QUANTITY	PLANT	SIZE	SYMBOL
15	ARELIA EDWARD GUSCHER	3/0	(Symbol)
4	DBI KANA RANOVIRA	3/0	(Symbol)
27	KNOCK OUT ROSE RED	3/0	(Symbol)
10	GOLD GOLD LANTANA	1/0	(Symbol)
18	INDIAN HANTHORE (C. AREA)	3/0	(Symbol)
1	DRAPERVILLE RED	15/0	(Symbol)
11	DRIFT ROSES APRICOT	5/0	(Symbol)
5	DAK HILL DRANGE	1/0	(Symbol)
4	REDBUD	30/0	(Symbol)
21	LIVEDAK	3"	(Symbol)
1	DM FADON	3/0	(Symbol)
25	VARIED CUSTOP	1/0	(Symbol)
16	BIG BLUE SP-ROSE	1/0	(Symbol)
24	COTONEASTER	3/0	(Symbol)
108	LEWISIA SARRIS 24" TALL	3/0	(Symbol)
	POTS WITH SEASONAL FLOWERS		(Symbol)
	SEASONAL COLOR		(Symbol)
	EXISTING TREE TO REMAIN		(Symbol)
	EXISTING TREE TO BE REMOVED		(Symbol)
	RIVER CORNER	3"-1"	(Symbol)
	TREE EDGING (PROVIDE EDGING AROUND ALL PLANTING BEDS)		(Symbol)
	SITTING BENCHES (X)		(Symbol)

GENERAL NOTES:
ALL EXISTING TREES REMOVED DURING CONSTRUCTION WILL BE REPLACED WITH NEW TREES.

EXISTING TREES TO REMAIN INCLUDE THE FOLLOWING:
4 - 10" DIAMETER LIVE OAKS
1 - 0" DIAMETER LIVE OAK
1 - 4" DIAMETER LIVE OAK
1 - 0" PECAN
1 - 3" CUSTOP

EXISTING TREES TO BE REMOVED INCLUDE THE FOLLOWING:
1 - 0" LIVE OAK
1 - 3" LIVE OAK

TREE MITIGATION PLAN:
THE TREES THAT ARE REMOVED TO BE REPLACED WITH THE FOLLOWING:
21 - 3" DIAMETER LIVE OAK

SITE ACREAGE - 103 ACRES
SITE SQUARE FOOTAGE - 44968 SQ. FT.
408 REQUIRED LANDSCAPING/OPEN SPACE - 17441 SQ. FT.
LANDSCAPING/OPEN SPACE AS SHOWN - 17182 SQ. FT.

PRELIMINARY LANDSCAPING PLAN
SCALE: 1" = 20'-0"

SARGENT
DESIGN GROUP
ARCHITECTS & PLANNERS
818 WINDY DRIVE
GRAND PRAIRIE, TEXAS 75052
972-366-8310
johng@sgd.com



Project:
LAS BRISAS PROPERTIES, INC.
210 W. WALNUT
GARLAND, TEXAS
FILE # 131015-2; Z 14-17

Sheet Title:
PRELIMINARY LANDSCAPING

Revisions:

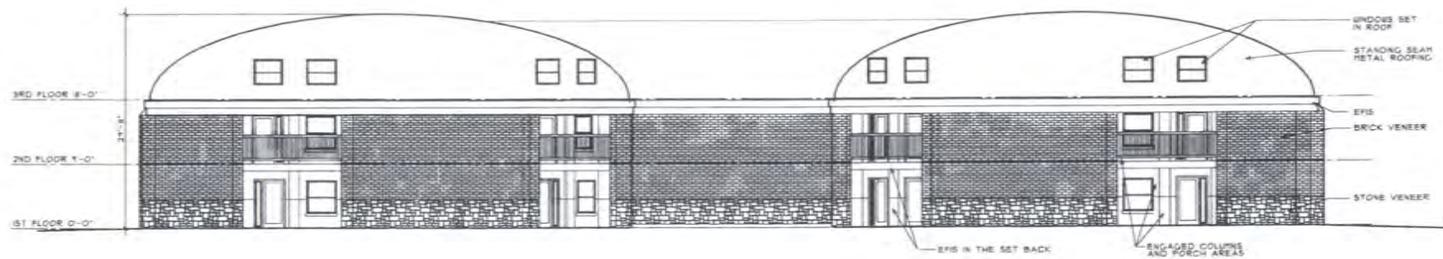
PROJECT NUMBER: 0100
DATE: 03/24/14
DRAWN BY: J.C.S.
CHECKED BY: J.C.S.
APPROVED BY: J.C.S.

LSI, II
SHEET NUMBER:
Sheet of



WEST ELEVATION

SCALE: 1/8"=1'-0"



EAST ELEVATION

SCALE: 1/8"=1'-0"

SARGENT
DESIGN GROUP

818 WENDY DRIVE
GRAND PRAIRIE, TEXAS 75052
www.sargentdesign.com



05/28/14

Project:
**LAS BRISAS
PROPERTIES, INC.**
2101 W. JALUIT
GARLAND, TEXAS

FILE # 131015-2; Z. 14-17

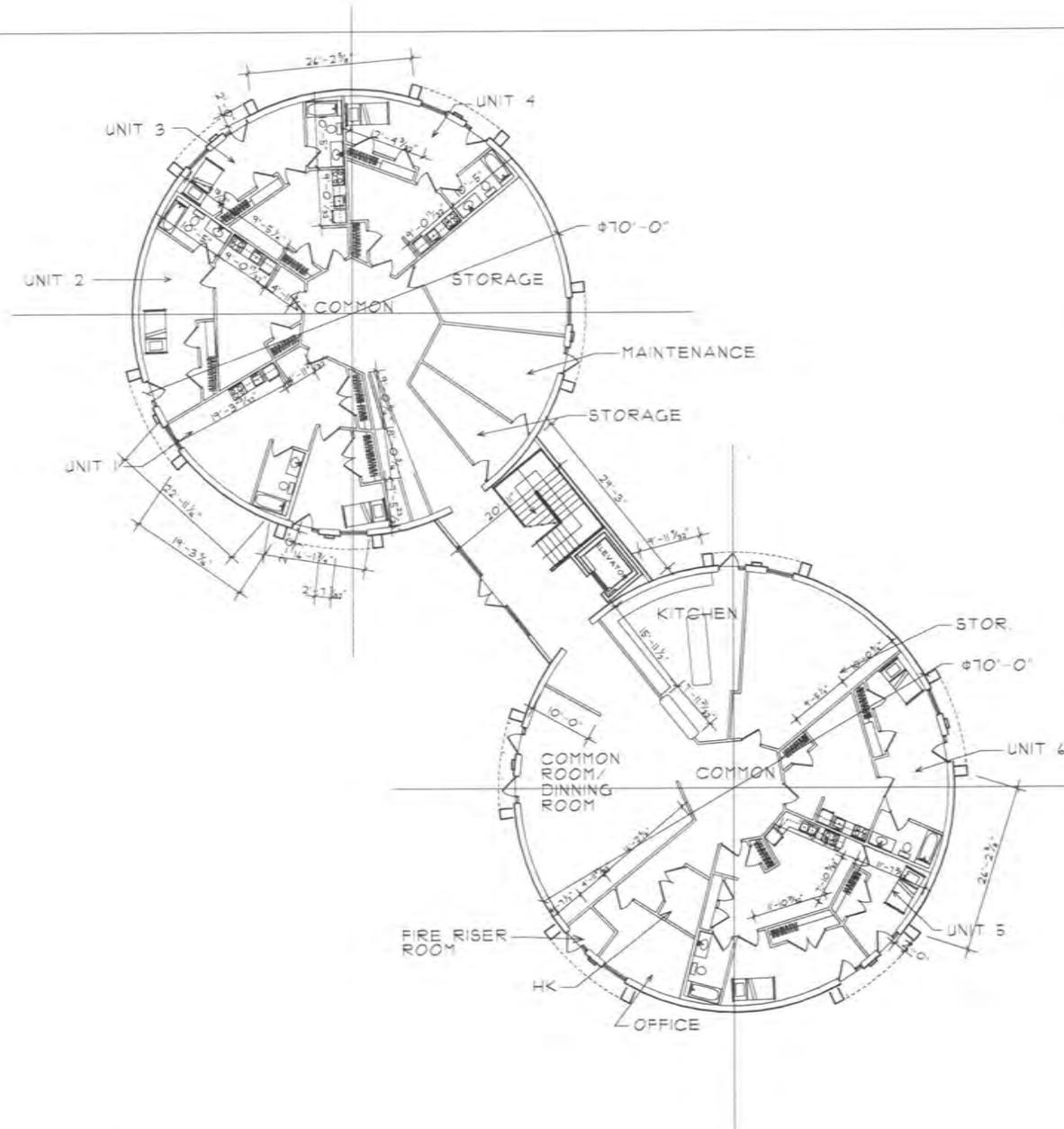
Sheet Title:
ELEVATIONS

Revisions:

PROJECT NUMBER: 13100
DATE: 03.24.14
DRAWN BY: J.C.S.
CHECKED BY: J.C.S.
APPROVED BY: J.C.S.

A3.11

SHEET NUMBER
Sheet of



FIRST FLOOR	
BUILDING A	BUILDING B
UNIT 1 Area=31 SF CLOSET/STORAGE Area=24 SF AREA=5 SF BEDROOM Area=13 SF UNIT 2 Area=58 SF CLOSET/STORAGE Area=5 SF BEDROOM Area=12 SF UNIT 3 Area=48 SF CLOSET/STORAGE Area=5 SF AREA=5 SF BEDROOM Area=24 SF UNIT 4 Area=48 SF CLOSET/STORAGE Area=5 SF AREA=5 SF BEDROOM Area=20 SF STORAGE Area=34 SF COMMON AREA Area=54 SF MAINTENANCE Area=22 SF STORAGE Area=31 SF	UNIT 5 Area=54 SF CLOSET/STORAGE Area=1 SF AREA=2 SF AREA=2 SF BEDROOM ONE Area=13 SF BEDROOM TWO Area=13 SF UNIT 6 Area=54 SF CLOSET/STORAGE Area=1 SF AREA=2 SF BEDROOM Area=21 SF COMMON AREA Area=44 SF HOUSE KEEPING Area=48 SF OFFICE Area=14 SF COMMON AREA/ DINING ROOM Area=45 SF KITCHEN Area=38 SF STORAGE Area=42 SF
GENERAL NOTES: ROOM NAMES AND SQUARE FOOTAGE FIRST FLOOR SQUARE FOOTAGES: APARTMENT UNITS = 3448 SF COMMON AREAS = 442 SF GENERAL STORAGE = 205 SF GENERAL BUILDING INFORMATION: APARTMENT UNIT AVERAGE SQ FT = 2005F COMMON AREA = 345 SF PER UNIT COMMON STORAGE = 150 SF WITH 50 SF/UNIT	

FLOOR PLAN - 1ST FLOOR
 SCALE: 1/8"=1'-0"

SARGENT
 DESIGN GROUP
 818 WINDY DRIVE
 GRAND PRAIRIE, TEXAS 75052
 409-566-8510
 john@sgd.com



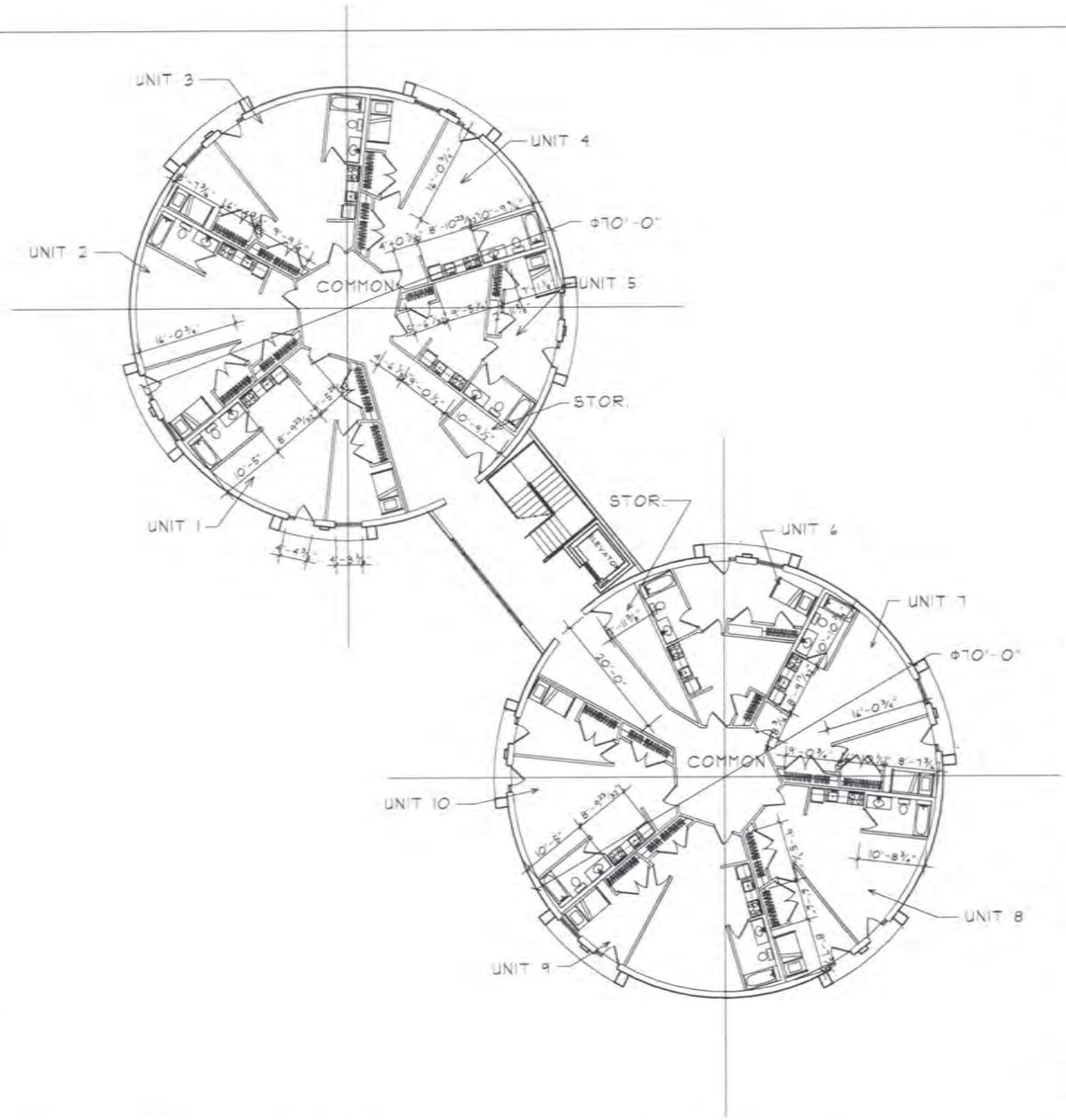
Project:
LAS BRISAS, INC.
PROJ. W. WALNUT
GARLAND, TEXAS
 FILE # 131015-2; Z 14-17

Sheet Title:
FLOOR PLAN
FIRST FLOOR

Revisions:

PROJECT NUMBER: 0100
 DATE: 03-24-14
 DRAWN BY: J.C.B.
 CHECKED BY: J.C.B.
 APPROVED BY: J.C.B.

A2.10
 SHEET NUMBER
 Sheet 10



SECOND FLOOR	
BUILDING A	BUILDING B
UNIT 1 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF	UNIT 6 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF
UNIT 2 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF	UNIT 7 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF
UNIT 3 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF	UNIT 8 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF
UNIT 4 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF	UNIT 9 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF
UNIT 5 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF	UNIT 10 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=14 SF BEDROOM Area=52 SF
COMMON Area=14 SF STOR. Area=17 SF	COMMON Area=14 SF STOR. Area=17 SF
GENERAL NOTES: ROOM NAMES AND SQUARE FOOTAGE SECOND FLOOR SAUORE FOOTAGES APARTMENT UNITS 544 SF COMMON AREAS - 811 SF GENERAL STORAGE 183 SF	

FLOOR PLAN - 2ND FLOOR
 SCALE: 1/8"=1'-0"

SARGENT
 DESIGN GROUP



Project:
LAS BRISAS PROPERTIES, INC.
 2101 W. WALNUT
 GARLAND, TEXAS

Sheet Title:
FLOOR PLAN SECOND FLOOR

Revisions:

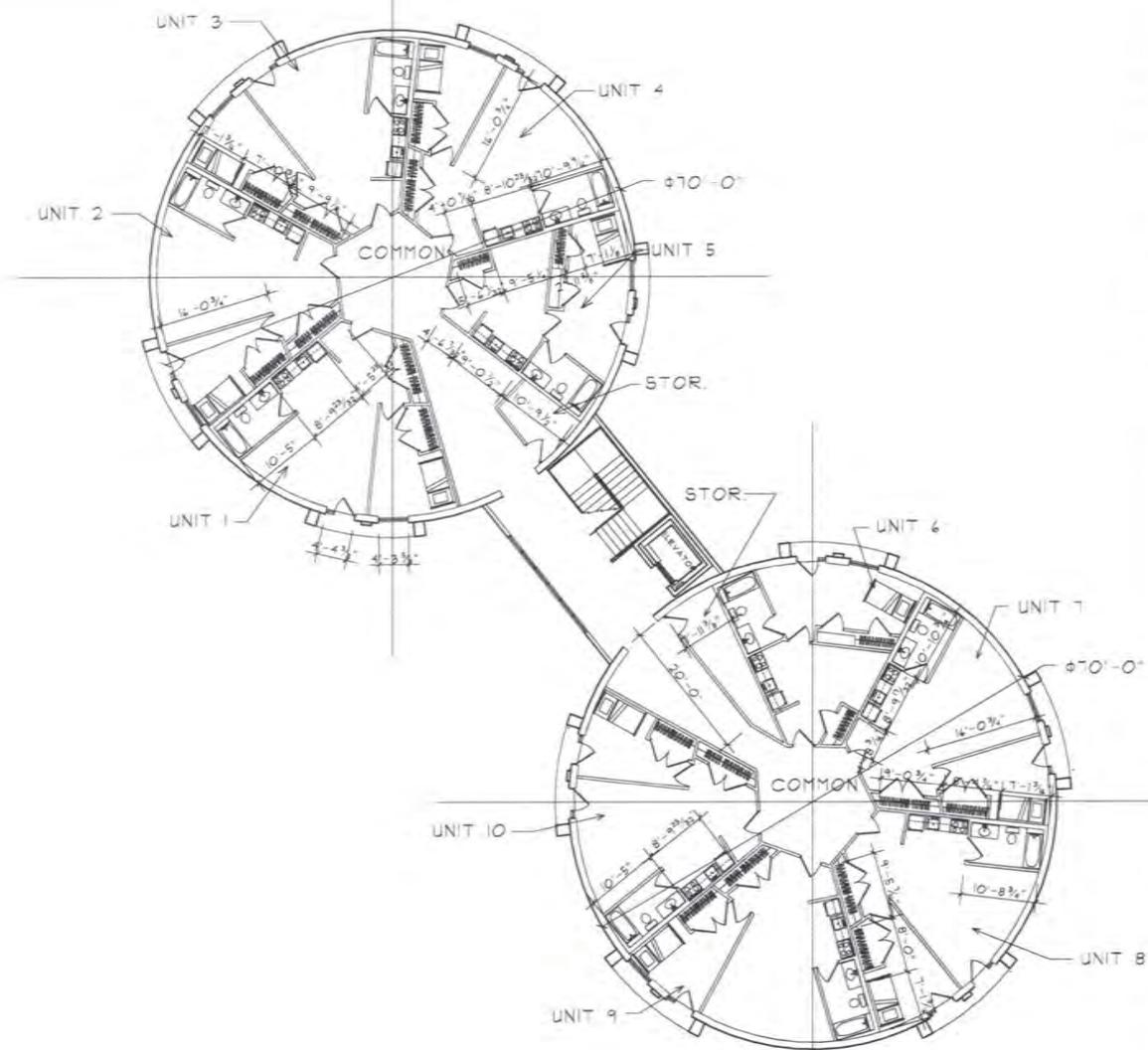
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 DATE: 05/24/11
 DRAWN BY: J.C.B.
 CHECKED BY: J.C.B.
 APPROVED BY: J.C.B.

A2.12
 SHEET NUMBER
 Sheet of

815 WINDY DRIVE
 GRAND PRairie, TEXAS 75052
 414-366-1110
 josh@sargent.com

05/28/11

FILE # 131015-2; Z 14-17



THIRD FLOOR	
BUILDING A	BUILDING B
UNIT 1 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=5 SF BEDROOM Area=92 SF	UNIT 4 Area=124 SF CLOSET/STORAGE Area=25 SF AREA=5 SF BEDROOM Area=92 SF
UNIT 2 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=5 SF BEDROOM Area=92 SF	UNIT 7 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=5 SF BEDROOM Area=92 SF
UNIT 3 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=5 SF BEDROOM Area=92 SF	UNIT 8 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=5 SF BEDROOM Area=92 SF
UNIT 4 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=5 SF BEDROOM Area=92 SF	UNIT 9 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=5 SF BEDROOM Area=92 SF
UNIT 5 Area=124 SF CLOSET/STORAGE Area=25 SF AREA=5 SF AREA=25 SF	UNIT 10 Area=124 SF CLOSET/STORAGE Area=24 SF AREA=5 SF AREA=92 SF
COMMON Area=4 SF STOR. Area=1 SF	COMMON Area=4 SF STOR. Area=1 SF
GENERAL NOTES: ROOM NAMES AND SQUARE FOOTAGE SECOND FLOOR SAHORE FOOTAGES APARTMENT UNITS - 59% SF COMMON AREAS - 89% SF GENERAL STORAGE - 185 SF	

FLOOR PLAN - 3RD FLOOR
 SCALE: 1/8" = 1'-0"

SARGENT
 DESIGN GROUP
 818 WINDY DRIVE
 PLANO, TEXAS 75075
 972.420.1100
 johnson@sargent.com



Project:
LAS BRISAS PROPERTIES, INC.
2101 WALNUT GARLAND, TEXAS
 FILE # 131015-2; Z 14-17

Sheet Title:
FLOOR PLAN THIRD FLOOR

Revisions:

PROJECT NUMBER: 0700
 DATE: 09.24.14
 DRAWN BY: J.C.S.
 CHECKED BY: J.C.S.
 APPROVED BY: J.C.S.

A2.13
 SHEET NUMBER
 1 of 1

REPORT & MINUTES

P.C. Meeting, July 28 2014 (8 Members Present)

Consideration of the application of Sargent Design, requesting approval of 1) an amendment to Planned Development District (93-10) for Complex for the Elderly, 2) a Detail Plan for Independent Senior Living Facility, and 3) variances to the Senior Living and Related Facilities Standards, including to Section 34.51.D (4) to reduce the required setback from a residential district, Section 34.52 regarding screening and landscaping and Section 34.51(E) regarding covered parking. The property is located at 2101 West Walnut Street. (File 14-17) (District 8) (This request was postponed from the July 14, 2014 Plan Commission meeting.)

Representing the applicant John Sargent, 818 Wendy, Grand Prairie, TX, was available for questions.

Commissioner Luckie asked for confirmation that the building will be ADA compliant.

Motion was made by Commissioner Ott, seconded by Commissioner Vera to close the Public Hearing and **approve** the application as presented. Motion **carried: 8 Ayes, 0 Nays.**



MARIE-CURIE

I-1

PEGGY

2241

2241

2241

2241

2241

2241

2241

2241

2241

2231

2231

325

2225

2225

2121

2121

2113

2057

2039

2109

2105

2035

PD 93-10

2101
2101

1625

1620

1616

1612

1608

SF7/I/G/3

LAKESIDE

BROOKSIDE

D/H/4

MF-18

1801

GB

PD 69-30

WALNUT

2129

413

414

~~417~~

418

409

410

2121

2117

410

413

414

405

406

2118

2114

406

409

410

401

2113

2110

2105

405

406

325

SF7/I/F/3

2118

2114

2110

2106

STANTON

RITA

D/H/4

CLIFF

EVELYN

FRANCES

MURIEL



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 3, 2014

HEARING DATE/TIME: Plan Commission: July 14, 2014 – 7:00 PM

APPLICANT: Sargent Design

File 14-17

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 14, 2014, in the North Program Room of the Central Library, 625 Austin Street, to consider the application of **Sargent Design**, requesting approval of 1) an amendment to Planned Development District (93-10) for Complex for the Elderly, 2) a Detail Plan for Independent Living Facility, and 3) variances to the Senior Living and Related Facilities Standards, including to Section 34.51.D(4) to reduce the required setback from a residential district, Section 34.52 regarding screening and landscaping and Section 34.51(E) regarding covered parking. The property is shown on the enclosed sketch and is described as follows:

BEING a 1.030 acre tract of land, situated in the J.W. Keen Survey, Abstract No. 738, City of Garland, Dallas County, Texas, said tract being the same tract conveyed in Special Warranty Deed to Las Brisas Properties, Inc., recorded in Volume 93080, Page 3700 of the Deed Records of Dallas County, Texas. This property is located at 2101 West Walnut Street. (District 8)

Note: The applicant requests the amendment to the Planned Development, a Detail Plan and associated variances to demolish the existing building and redevelop the property with a 26 unit Independent Living Facility consisting of two (2), three-story buildings.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002** or by fax to **972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

*The city approves the Sargent Design that is fine
This will change the environment and create more
accommodations for seniors.*

(Please complete the following information)

Your Property Address

MOBOLAJI IKUJENYO
Printed Name
2039 W. Walnut, Garland TX 75042
Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

[Signature] Signature *Owner* Title
Date: *7/11/14*



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

June 12, 2014

HEARING DATE/TIME: Plan Commission: June 23, 2014 – 7:00 PM

APPLICANT: Sargent Design

File 14-17

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, June 23, 2014, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Sargent Design**, requesting approval of 1) an amendment to Planned Development District (93-10) for Complex for the Elderly, 2) a Detail Plan for Independent Living Facility, and 3) variances to the Senior Living and Related Facilities Standards, including to Section 34.51.D(4) to reduce the required setback from a residential district, Section 34.52 regarding screening and landscaping and Section 34.51(E) regarding covered parking. The property is shown on the enclosed sketch and is described as follows:

BEING a 1.030 acre tract of land, situated in the J.W. Keen Survey, Abstract No. 738, City of Garland, Dallas County, Texas, said tract being the same tract conveyed in Special Warranty Deed to Las Brisas Properties, Inc., recorded in Volume 93080, Page 3700 of the Deed Records of Dallas County, Texas. This property is located at 2101 West Walnut Street. (District 8)

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To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below

(Please complete the following information)

Your Property Address 417 STANTON DR
Printed Name Billie Burns GARLAND TX 75042
Address _____ City, State _____ Zip _____

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Billie Burns _____ Title _____
Date: 6/19/14 _____



Planning Report

Eric Johnson

1080 East Campbell Road

REQUEST

Approval of 1) an amendment of Planned Development (PD) District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan for Single Family.

OWNER

Joshua and Chona Stepp

PLAN COMMISSION RECOMMENDATION

On July 28, 2014 the Plan Commission, by a vote of eight (8) to zero (0), recommended approval of 1) an amendment of Planned Development (PD) District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan for Single Family to revise the approved Concept Plan from 3 residential lots to 1 residential lot.

STAFF RECOMMENDATION

Approval of 1) an amendment of Planned Development (PD) District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan for Single Family.

BACKGROUND

In 2011 City Council approved a change of zoning from Single Family-16 (SF/16/E/1) District to a Planned Development (PD) District for Single Family-16 Uses and a Concept Plan for 3 residential lots. The subject property has neither been replatted nor developed following the approval of the zoning change and Concept Plan. The applicant proposes to develop the subject property as one residential lot and seeks approval of an amendment to Planned Development (PD) District 10-31 and the Concept Plan.

SITE DATA

The subject property contains approximately 2.42 acres in area fronting approximately 150 feet along Campbell Road. The subject property will only be accessed from Campbell Road.

USE OF PROPERTY UNDER CURRENT ZONING

Planned Development (PD) District 10-31 allows the development of those uses permitted in the Single Family-16 District. Planned Development (PD) District 10-31 contains specific regulations and a Concept Plan for the development of a 3 lot single family dwelling subdivision; however, approval of a Detail Plan through the public hearing process is not required.

CONSIDERATIONS

1. The applicant proposes a Concept Plan to develop the subject property as one residential lot in lieu of the 3 residential lots reflected on the approved Concept Plan. The applicant proposes to retain those specific regulations that establish a minimum dwelling unit area of 3,000 square feet and a minimum lot size of 20,000 square feet and eliminate all those specific regulations regarding homeowner association, common areas, setbacks, common access agreement and lot dimensions that are solely applicable to the 3-lot layout. The proposed setbacks and lot dimension reflected on the proposed Concept Plan is in compliance with the regulations found in Section 18-100 of the Comprehensive Zoning Ordinance and typically designated to the Single Family-16 District.
2. Given that the subject property is in the SH 190 Overlay, development shall conform to all the applicable requirements of the SH 190 Development Standards.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Traditional Neighborhoods for the subject property. Traditional Neighborhoods offer residential areas of typical suburban density within a conventional neighborhood setting. Traditional Neighborhoods consist of single-family detached homes arranged along a conventional network of collector and neighborhood streets. Daily goods, services and other non-residential uses are found at the perimeter of Traditional Neighborhoods, while schools, parks, and churches are generally the only non-residential uses within the neighborhood's interior.

The amended Concept Plan remains consistent with the recommendation of the Comprehensive Plan.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

Property to the north across Campbell Road is zoned Planned Development (PD) District 06-67 for Shopping Center Uses and is partially developed with a church. Property to the south is zoned Single Family-10 (SF10/D/2) District and is developed with single family residences. Property to the east is zoned Single Family-16 (SF16/E/1) District and is developed with a single-family home. Property further east is also zoned Single Family-16 (SF16/E/1) District and is developed with a single-family home. Property to the west is zoned Planned Development (PD) District 83-42 and is developed with single-family residences.

The subject property is located within an area predominately zoned and developed with single family housing. In cases where new development is being introduced in proximity to established single family housing, it is important to minimize impact on the area by establishing minimum setbacks and ensuring compatibility through lot and house size requirements as well as the careful placement of other site elements. The proposed Concept Plan replaces a 3-lot layout with a 1-lot layout with larger setbacks and a lesser density; hence, minimizing all the more the impact development could have on the adjacent residential properties.

Prepared By:

Josue De La Vega
Development Planner

Date: August 7, 2014

Reviewed By:

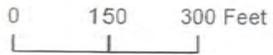
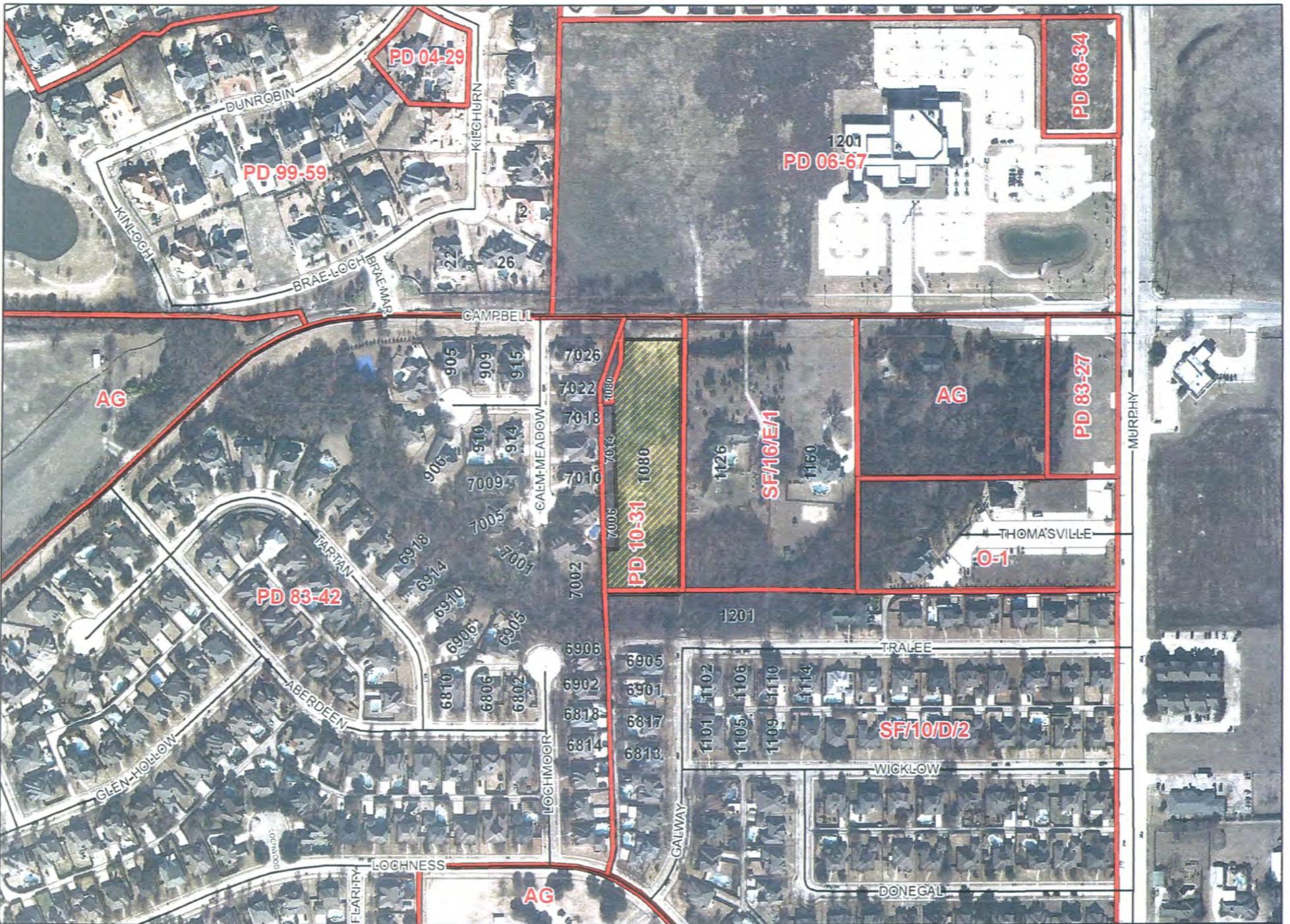
Anita Russelmann
Director of Planning

Date: August 11, 2014

Reviewed By:

William E. Dollar
City Manager

Date: August 12, 2014



ZONING Z 14-28

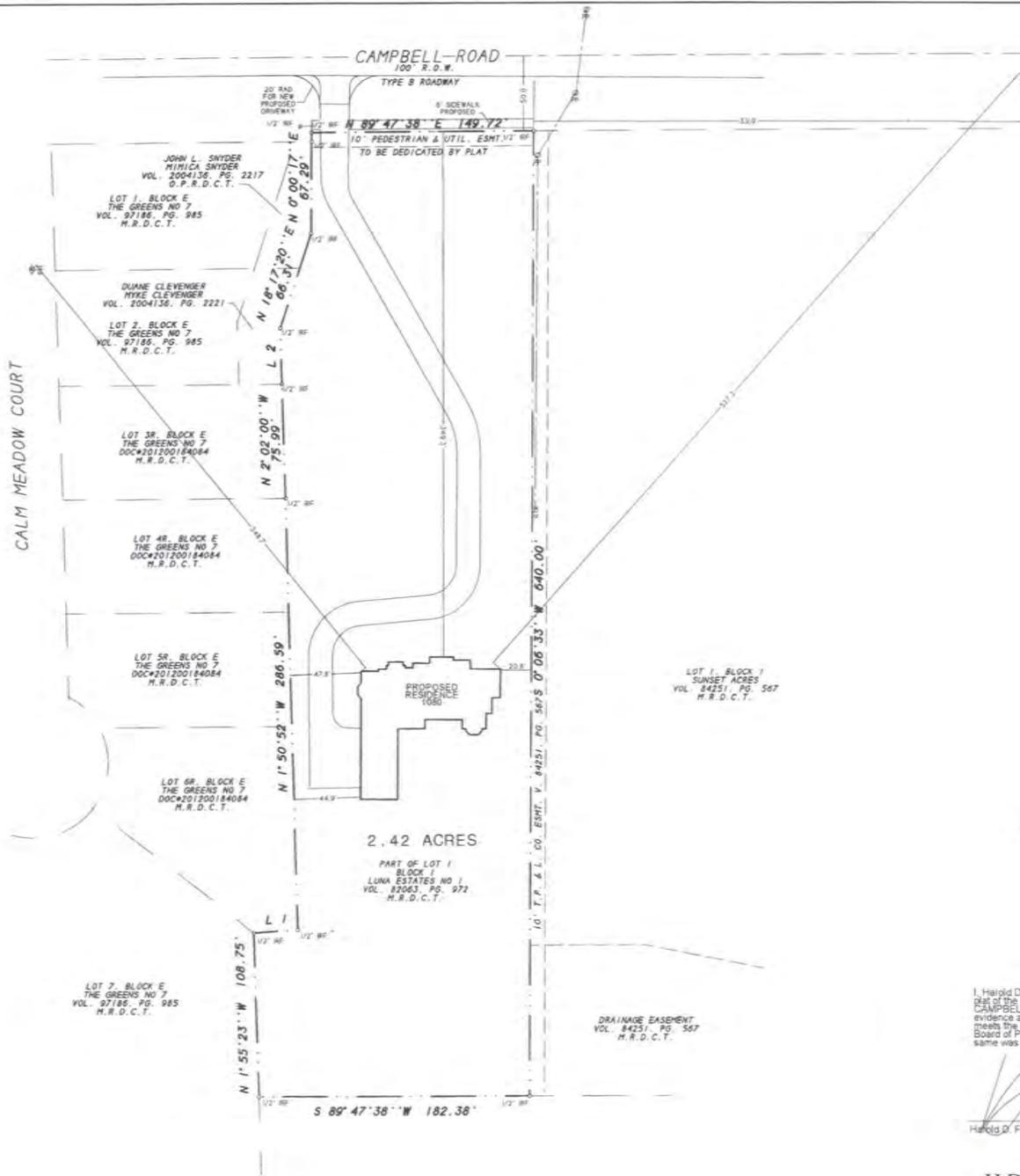
 INDICATES AREA OF REQUEST

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE 14-28

1080 East Campbell Road

- I. **Statement of Purpose:** The purpose of this Planned Development District and Concept Plan is to permit the development of a detached dwelling unit on one residential lot subject to conditions.
- II. **Statement of Effect:** This Planned Development District shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations of the Single Family-16 (SF/16/A/1) District as set forth in Section 15, 18 and 32 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. **Development Plans:**
 - A. Concept Plan: Development shall be in general conformance with the approved Concept Plan set forth in Exhibit C. In the event there is a conflict between the Concept Plan and the conditions, the conditions shall prevail.
 - B. Detail Plan: Approval of a Detail Plan through the public hearing process is not required.
- V. **Specific Regulations:**
 - A. Development Standards: All requirements of the SH190 Development Standards shall apply unless otherwise specified below.
 - B. Permitted Uses: Permitted uses are those found in the Single Family-16 (SF16/A/1) District.
 - C. Minimum Lot Size: The minimum lot size is set at 20,000 square feet.
 - D. Minimum Dwelling Unit Area: 3,000 square feet.
 - E. Tree Preservation/Mitigation Requirements: The applicant shall mitigate all caliper inches removed on-site in accordance to the Tree Preservation Ordinance 5731. Confirmation of conformance shall be at the time of site plan review, prior to issuance of a site permit.



LINE TABLE

Line	Bearing	Distance
1	N 86°07'18"E	29.86'
2	N 1°45'32"W	35.79'

REVISED CONCEPT PLAN

CITY CASE NO. 140610-2

NOTE: No Structure will encroach any existing or future easements

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty III, Registered Professional Land Surveyor, No. 5034, do hereby certify that the above plat of the property surveyed for FREDERICK CLAS (M.F.W.M.S.) and KATHA LOGAN STEEP at 1080 CAMPBELL ROAD, GARLAND, DALLAS COUNTY, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This Survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this 16th day of June, 2014.

Harold D. Fetty III
Harold D. Fetty III, R.P.L.S., No. 5034

SYMBOL LEGEND

○	W	□	△	■
○	W	□	△	■
○	W	□	△	■
○	W	□	△	■
○	W	□	△	■

SURVEY DATE: JUNE 16, 2014
 SCALE: 1" = 50' FILE # 80148224
 CLIENT: 33322 GP # NONE

H.D. Fetty Land Surveyor, LLC
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

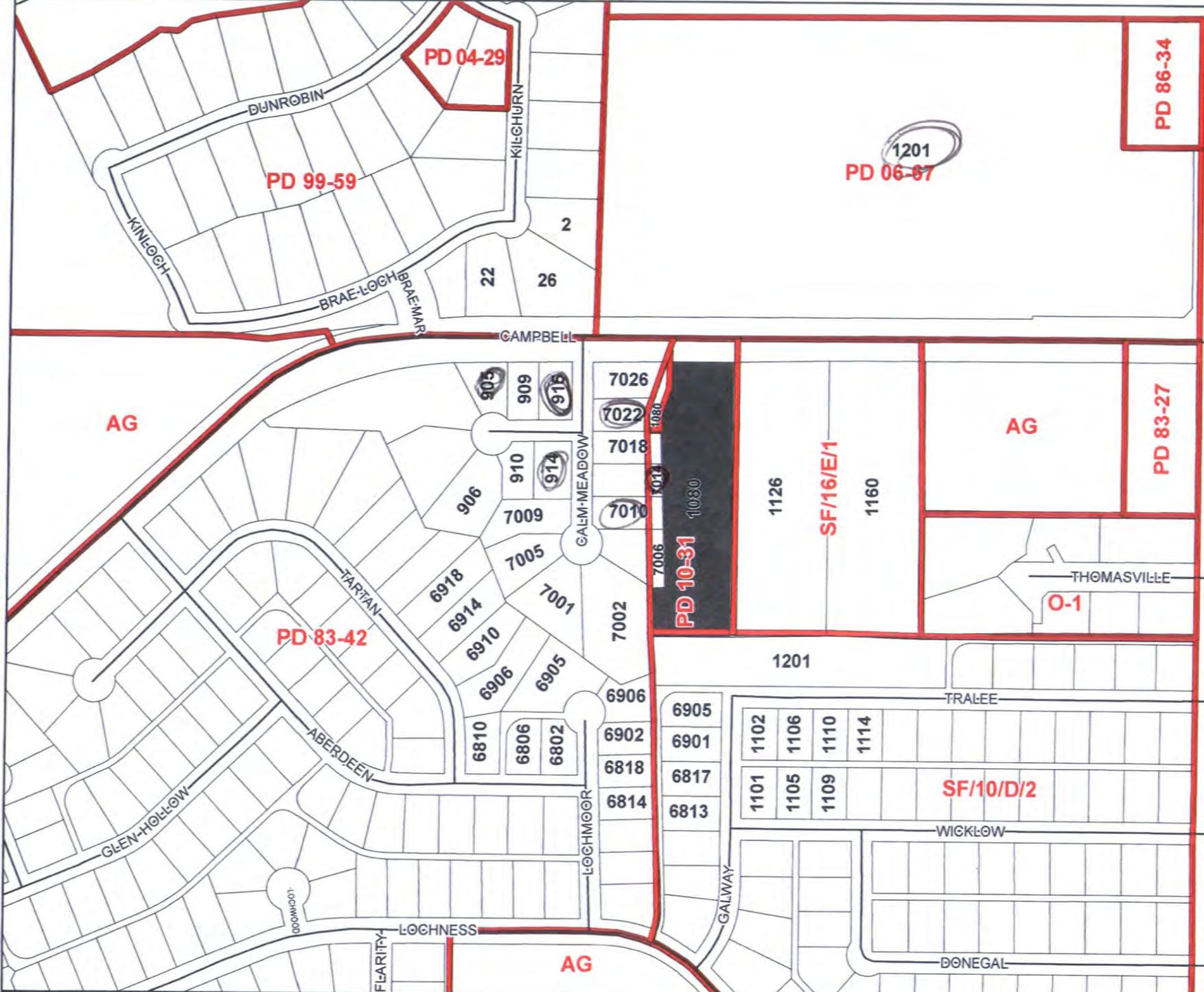
REPORT & MINUTES

P.C. Meeting, July 28 2014 (8 Members Present)

Consideration of the application of Eric Johnson, requesting approval of 1) an amendment of Planned Development (PD) District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan for Single Family. The property is located at 1080 East Campbell Road. (File 14-28) (District 1) (This request was postponed from the July 14, 2014 Plan Commission meeting.)

Representing the applicant, Scott Montgomery, 3031 Hillview Dr., Royse City, TX, was available for questions.

Motion was made by Commissioner Luckie, seconded by Commissioner Dalton to close the Public Hearing and **approve** the applicants request per staff recommendation. **Motion carried: 8 Ayes, 0 Nays.**



O = IN FAVOR
 X = AGAINST

0 150 300 Feet

ZONING Z 14-28

INDICATES AREA OF REQUEST



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 3, 2014

HEARING DATE/TIME: Plan Commission: July 14, 2014 – 7:00 PM

APPLICANT: Eric Johnson

File Z 14-28

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 14, 2014, in the North Program Room of the Central Library, 625 Austin Street, to consider the application of **Eric Johnson** requesting approval of 1) an amendment of Planned Development (PD) District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan for Single Family. The property is shown on the enclosed sketch and is described as follows:

Being an approximate 2.42-acre site identified as part of Lot 1, Block 1 of Luna Estates, No. 1 an addition to Garland Texas as recorded in Volume 2005008, Page 1766 of the Map and Deed Records of Dallas County, Texas. The property is located at 1080 East Campbell Road, Garland, TX. (District 1)

Note: The applicant seeks to revise the approved Concept Plan from three residential lots to one residential lot and develop the site with a single family residence.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Josue De La Vega at 972-205-2445.

(Please Check One Below)

- I am in favor of the request.
- I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address Stacy Blue

Printed Name _____

Address 915 Glen Meadow Court City, State Garland, TX Zip 75044

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Stacy Blue Title _____

Date: 7-8-14



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 3, 2014

HEARING DATE/TIME: Plan Commission: July 14, 2014 – 7:00 PM

APPLICANT: Eric Johnson

File Z 14-28

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(Please Check One Below)

- I am in favor of the request.
- I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address 1201 EAST CAMPBELL RD
JOHN WARDEN, LAKE POINTE CHURCH

Printed Name _____

701 INTERSTATE 30 ROCKWALL, TX 75087

Address _____ City, State _____ Zip _____

The above statements reflect my (our) opinion regarding the proposed request(s).

[Signature] _____ EXEC PASTOR OF OPERATIONS _____

Signature _____ Title _____

Date: 7/8/14



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 3, 2014

HEARING DATE/TIME: Plan Commission: July 14, 2014 – 7:00 PM

APPLICANT: Eric Johnson

File Z 14-28

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To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Josue De La Vega at 972-205-2445.

(Please Check One Below)

- I am in favor of the request.
- I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address

Duane Cleenger
 Printed Name
7022 Calm Meadow Ct GARIAND TX 75044
 Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Duane Cleenger **owner**
 Signature Title

Date: **7/10/14**



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 3, 2014

HEARING DATE/TIME: Plan Commission: July 14, 2014 – 7:00 PM

APPLICANT: Eric Johnson

File Z 14-28

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 14, 2014, in the North Program Room of the Central Library, 625 Austin Street, to consider the application of **Eric Johnson** requesting approval of 1) an amendment of Planned Development (PD) District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan for Single Family. The property is shown on the enclosed sketch and is described as follows:

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To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Josue De La Vega at 972-205-2445.

(Please Check One Below)

- I am in favor of the request.
- I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

Definitely in "FAVOR" of this Request!

(Please complete the following information)

Your Property Address

Jennifer Werner

Printed Name

7014 Calm Meadow Ct. Garland, Texas 75044

Address

City, State

Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature *Jennifer Werner*

Title *Property owner*

Date: *July 9, 2014*



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 3, 2014

HEARING DATE/TIME: Plan Commission: July 14, 2014 – 7:00 PM

APPLICANT: Eric Johnson

File Z 14-28

Dear Property Owner:

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Note: The applicant seeks to revise the approved Concept Plan from three residential lots to one residential lot and develop the site with a single family residence.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Josue De La Vega at 972-205-2445.

(Please Check One Below)

- I am in favor of the request.
- I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address Larry & Cynthia Voliva

Printed Name _____

Address 914 Glen Meadow Ct. Garland, TX 75044 City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature [Handwritten Signature] Title Property Owner

Date: 7/10/2014



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 3, 2014

HEARING DATE/TIME: Plan Commission: July 14, 2014 – 7:00 PM

APPLICANT: Eric Johnson

File Z 14-28

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 14, 2014, in the North Program Room of the Central Library, 625 Austin Street, to consider the application of **Eric Johnson** requesting approval of 1) an amendment of Planned Development (PD) District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan for Single Family. The property is shown on the enclosed sketch and is described as follows:

Being an approximate 2.42-acre site identified as part of Lot 1, Block 1 of Luna Estates, No. 1 an addition to Garland Texas as recorded in Volume 2005008, Page 1766 of the Map and Deed Records of Dallas County, Texas. The property is located at 1080 East Campbell Road, Garland, TX. (District 1)

Note: The applicant seeks to revise the approved Concept Plan from three residential lots to one residential lot and develop the site with a single family residence.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002** or by fax to **972-205-2474**. Should you have any questions, please contact Josue De La Vega at 972-205-2445.

(Please Check One Below)
 I am in favor of the request.
 I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below

(Please complete the following information)

Your Property Address 7010 Calm Meadow Ct.
Printed Name _____
Address Garland City, State TX Zip 75044

The above statements reflect my (our) opinion regarding the proposed request(s)
Signature Jay Title Jay Murfield
Date: 7/8/14



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 3, 2014

HEARING DATE/TIME: Plan Commission: July 14, 2014 – 7:00 PM

APPLICANT: Eric Johnson

File Z 14-28

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 14, 2014, in the North Program Room of the Central Library, 625 Austin Street, to consider the application of **Eric Johnson** requesting approval of 1) an amendment of Planned Development (PD) District 10-31 for Single Family-16 Uses and 2) an amended Concept Plan for Single Family. The property is shown on the enclosed sketch and is described as follows:

Being an approximate 2.42-acre site identified as part of Lot 1, Block 1 of Luna Estates, No. 1 an addition to Garland Texas as recorded in Volume 2005008, Page 1766 of the Map and Deed Records of Dallas County, Texas. The property is located at 1080 East Campbell Road, Garland, TX. (District 1)

Note: The applicant seeks to revise the approved Concept Plan from three residential lots to one residential lot and develop the site with a single family residence.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Josue De La Vega at 972-205-2445.

(Please Check One Below)

- I am in favor of the request.
- I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address 905 GLEN MEADOW CT

Printed Name NORELKIS JEIJAS GARLAND, TX 75044

Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature Norelki's Title _____

Date: 7/9/2014



Planning Report

Harlan Properties

Northwest of the intersection of Belt Line Road and North Garland Avenue

REQUEST

Approval of 1) a change in zoning from Shopping Center (SC) District to a Planned Development (PD) District for Townhouses, 2) a Concept Plan, 3) a variance to Section 15A-1000 of the Zoning Ordinance regarding exterior materials and 4) a waiver to Section 31.27 of the Code of Ordinances regarding the requirement of alleys.

OWNER

Tundra Realty Inc.

PLAN COMMISSION RECOMMENDATION

On July 28, 2014 the Plan Commission, by a vote of eight (8) to zero (0), recommended approval of 1) a change in zoning from Shopping Center (SC) District to a Planned Development (PD) District for Townhouses, 2) a Concept Plan and 3) a variance to Section 15A-1000 of the Zoning Ordinance regarding exterior materials

STAFF RECOMMENDATION

Approval of 1) a change in zoning from Shopping Center (SC) District to a Planned Development (PD) District for Townhouses, 2) a Concept Plan, 3) a variance to Section 15A-1000 of the Zoning Ordinance regarding exterior materials and 4) a waiver to Section 31.27 of the Code of Ordinances. Recent developments in the area have solidified the residential development pattern and the future land use envisioned for this area. The change of zoning provides for an additional housing option amongst the existing single-family detached and multi-family products.

BACKGROUND

The applicant is requesting approval of a change of zoning from Shopping Center (SC) District to a Planned Development for Townhouses and a Concept Plan for approximately 127 lots. The subject property would be subject to subsequent Detail Plan approval if the change of zoning and Concept Plan are approved.

SITE DATA

The subject property contains approximately 13.757 acres with access from North Garland Avenue and Belt Line Road.

USE OF PROPERTY UNDER CURRENT ZONING

The Shopping Center (SC) District provides for the establishment of convenient retail and personal service activities by grouping compatible uses in a single center which is designed in an integrated manner according to an overall site plan. The Shopping Center District accommodates shopping center development having a neighborhood or community service area. The subject property is undeveloped.

CONSIDERATIONS

1. Out of the total 13.757 acres, the applicant proposes 127 single family attached units/lots with two open space lots. The development plan would yield a residential density of approximately 9.23 units per acre. The Townhouse (TH) District allows for a maximum of twelve (12) dwelling units per acre.
2. The subject property is currently zoned for Shopping Center (SC) District and is undeveloped. The adjacent property to the northwest was rezoned in 2011 from a Planned Development for Light Industrial, Multi-Family and Office to a Planned Development for Single Family Uses and is being developed with single family homes. The development pattern of the surrounding area has changed from commercial to residential with the introduction of the single family subdivision to the northwest and the existing multi-family development immediately adjacent to the subject property to the west.
3. The Townhouse (TH) District requires approval of a Concept Plan and Detail Plan. The applicant proposes the following development standards:

Regulation	Proposed	Required
Minimum Lot Size:	2,200 square feet	2,000 square feet
Minimum Lot Width:	25 feet for internal lots 30 feet for end lots	20 feet for internal lots 30 feet for end lots
Minimum Lot Depth:	90 feet	90 feet
Minimum Dwelling Unit Size:	1,400 sf; except that a maximum of 10 percent of the dwelling units comprising a townhouse development may be between 1,200 and 1,399 square feet in area	1,400 sf; except that a maximum of 10 percent of the dwelling units comprising a townhouse development may be between 1,200 and 1,399 square feet in area

Minimum Front Yard Setback:	20 feet	10 feet
Minimum Side Yard Setback (attached units):	0 feet	0 feet
Minimum Side Yard (adjacent to street and common areas):	10 feet	10 feet
Minimum Side Yard (between buildings):	5 feet	5 feet
Minimum Rear Yard Setback:	5 feet	5 feet
Maximum Lot Coverage:	75%	75%
Maximum Building Height:	40 feet	40 feet

As illustrated by the chart above, the applicant seeks to meet all the minimums of the Townhouse (TH) District.

4. Subdivision Access/Alleys: Access to the proposed residential development would be North Garland Avenue and Belt Line Road. All lots within the subdivision would front a 50-foot right-of-way with access to each lot limited to the front. The applicant is requesting approval of an alley waiver for all 127 residential lots. Additional engineering plans and further determination will be made with the Detail Plan submittal, should this request be approved regarding accommodating drainage and utilities without alleys.
5. Parking: Section 15A-900 of the Zoning Ordinance requires a minimum of two off-street parking spaces within an enclosed private garage for each residential unit. Additionally, a minimum of one off-street parking space shall be provided for every four (4) townhouse units. The applicant has provided areas for the guest parking in accordance with the requirement.
6. Exterior Materials: The Townhouse (TH) District requires a minimum of 80% primary masonry (brick, stone or tile or veneer simulations) to be provided for all exterior walls. The applicant requests a variance to require a minimum of 75% brick or stone for all exterior walls and chimney elevations, excluding windows, doors and gables. The design of the buildings shall be evaluated with approval of a Detail Plan to ensure compliance with the exterior materials, façade modulation and building length requirements.
7. Screening/Landscaping: The Screening and Landscape Standards requires that all proposed subdivisions adjacent to a Type A-D Thoroughfare provide 6-foot tall perimeter screening consisting of either an earthen berm with landscaping, a 6-foot tall continuous row of shrubs, or a 6-foot tall

masonry wall. The applicant proposes a 6-foot tall masonry wall with one large tree for every 30 linear feet or one ornamental tree for every 10 feet along Belt Line Road and North Garland Avenue. The screening wall and landscaping shall be placed within a common area lot owned and maintained by the mandatory Homeowner's Association.

The applicant must also plant one (1) large tree for each townhouse unit and the tree shall be placed either on that lot or within 50 feet of the unit.

8. Common Areas: The Townhouse (TH) District requires 10% of the gross platted area to be devoted to common area, including required community amenities. The Concept Plan indicates compliance with this requirement by the dedication of approximately 1.46-acres of common area/open space. Per Section 15A-1300 of the Zoning Ordinance, one (1) tree shall be provided for every 2,500 s.f. of each common area lot with 50% of the trees being a minimum of three (3) caliper inches at planting.
9. In order to compensate for the loss of private outdoor living area and amenities, townhouse developments shall contain recreational, entertainment or social amenities available for use by all residents of the development at a ratio of one amenity per 100 residential units, or portion thereof. Amenities that may be provided include a clubhouse, swimming pool, play area, private park, athletic courts or acceptable alternatives. The applicant proposes an amenity center and swimming pool for the development. The details of the screening and landscaping and amenities will be considered at the time of Detail Plan approval. Maintenance of all open space, amenities, common areas, landscaped areas and all entry features including any allowed within the street medians, irrigation, perimeter fencing and other amenities shall be the responsibility of the Homeowner's Association.
10. Prior to issuance of a building permit, approval of a Detail Plan, Preliminary Plat, Final Plat and approval of the Tree Survey/Mitigation Plan is required.

COMPREHENSIVE PLAN

The Future Land Use Map of the Comprehensive Plan recommends Compact Neighborhoods for the subject property. Compact neighborhoods provide areas for moderate increases in residential density, including single-family attached and single-family detached housing. It expands housing options through infill and redevelopment, while continuing walkable development patterns. These areas provide transitions between traditional residential neighborhoods and higher density residential neighborhoods and non-residential developments. The architectural character and scale of these areas are compatible with adjacent residential development. Developments within this category are predominantly residential, but may include compatible non-residential uses.

The proposed change in zoning is consistent with the recommended land use. The surrounding area has developed with lower density single family detached houses and higher density multi-family. The principle of neighborhood stability through compatible adjacent land uses is supported within Envision Garland and is evident in the proposed development.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The immediately adjacent properties to the west and northwest are a mixture of low to medium density residential uses. The property to the southeast, on the corner of Belt Line Road and North Garland Avenue, is zoned Shopping Center District and is developed with a gas station. The properties to the south, across Belt Line Road, are zoned Shopping Center District and PD 85-29 for Shopping Center Uses and are partially developed with a shopping center including retail, restaurant and personal service uses. Properties to the northeast, across N. Garland Avenue, are zoned within Planned Development Districts for Assisted Living and Multi-Family.

The use of the property for medium density residential is consistent with the existing development pattern in the surrounding area. The subject property could develop as non-residential uses under the existing zoning within an area with substantive existing retail and some undeveloped land already zoned for shopping center uses. The introduction of additional residences in the area will provide support for the existing non-residential uses south and east of the subject property.

Prepared By:

Chasidy Allen, AICP
Principal Planner

Date: August 6, 2014

Reviewed By:

Anita Russelmann
Director of Planning

Date: August 7, 2014

Reviewed By:

William E. Dollar
City Manager

Date: August 8, 2014

ZONING FILE 14-31

North of Belt Line Road and west North Garland Avenue

PLANNED DEVELOPMENT CONDITIONS

- I. **Statement of Purpose:** The purpose of this Planned Development District is to permit the development of a single-family, attached subdivision subject to conditions.
- II. **Statement of Effect:** This Planned Development District shall not affect any regulation found in the Comprehensive Zoning Ordinance, Ordinance No. 4647, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. **General Regulations:** All regulations set forth at Sections 15A and 32 of the Comprehensive Zoning Ordinance are included by reference and shall apply, except as otherwise specified in this ordinance.
- IV. **Development Plans:**
 - A. **Concept Plan:** Development shall be in general conformance with the approved Concept Plan set forth in Exhibit C. Approval of a Detail Plan shall be required through the public hearing process. Additional elements including, but not limited to, building articulation, architectural features, amenities, entry features, screening, and landscaping would be addressed as part of a potential Detail Plan consideration.
- V. **Specific Regulations:**
 - A. **Permitted Uses:** Only Single Family, Attached Uses (townhouses) shall be permitted. One hundred twenty seven townhomes are proposed on 13.757 developable acres. Considerable variation from the number of proposed townhome units may require an amended zoning/Concept Plan.
 - B. **Minimum Lot Area:** The minimum lot area is 2,200 square feet.
 - C. **Minimum Lot Width:** The minimum lot width is 25 feet for internal lots and 30 feet for end lots.
 - D. **Minimum Lot Depth:** The minimum lot depth is 90 feet.
 - E. **Garages/Alleys:** Front entry garages shall be allowed. Alleys will not be required with this development. A 1-foot minimum masonry column between single garage doors shall be provided on a minimum of 25% of the total dwelling units.

- F. Setbacks: Setbacks shall be set forth as follows:
- | | |
|---|---------|
| Front Yard: | 20 feet |
| Side Yard:
(attached units) | 0 feet |
| Side Yard:
(adjacent to street & common areas) | 10 feet |
| Side Yard:
(10' between buildings) | 5 feet |
| Rear Yard: | 5 feet |
| Rear Yard
(adjacent to street) | 5 feet |
- G. Lot Coverage and Building Height: Building coverage shall not exceed 75% of each platted lot. Building height (apex of structure) shall not exceed 40' feet in height.
- H. Minimum Dwelling Unit Size: The minimum dwelling unit size shall be 1,400 square feet. A maximum of 10 percent of the total dwelling units provided may be between 1,200 and 1,399 square feet in area.
- I. Building Length: Each building shall have no fewer than 3 and no more than 6 attached townhome units or measure more than 180 feet in length.
- J. Additional Parking: Guest parking spaces shall be calculated as one (1) parking space for each four (4) dwelling units.
- K. Exterior Materials: Building materials for the exterior walls and any chimney elevations excluding doors, windows and gables shall be composed of 75% brick or stone, or a combination of brick or stone.
- L. Common Areas: A minimum of 10% of the total developable area shall be devoted as usable open space. Multiple areas of open space shall be provided to the extent that it is distributed throughout the development, easily accessible to all future town homeowners.
- M. Amenities: An amenity center/ pool and open space shall be provided for the community.
- N. Homeowners Association: A Homeowners Association shall be incorporated and each lot/homeowner shall be a mandatory member. The bylaws of this association shall establish a system of payment of dues; a system of enforcement of its rules and regulations; shall establish a clear and distinct definition of the responsibility of each member; and other provisions as deemed appropriate to secure a sound and stable association. The Bylaws for this association shall be submitted to the Director of Planning for review and approval prior to commencement of construction of any infrastructure improvements within the subdivision.

- O. Maintenance of Open/Common: Space, Landscaped Areas, Entry Features Access Easements and Other Amenities: Maintenance of all open/common space, common areas, landscaped areas, entry features including any allowed within street medians, irrigation, perimeter fencing access easements and other amenities shall be the responsibility of the Homeowners Association.

REPORT & MINUTES

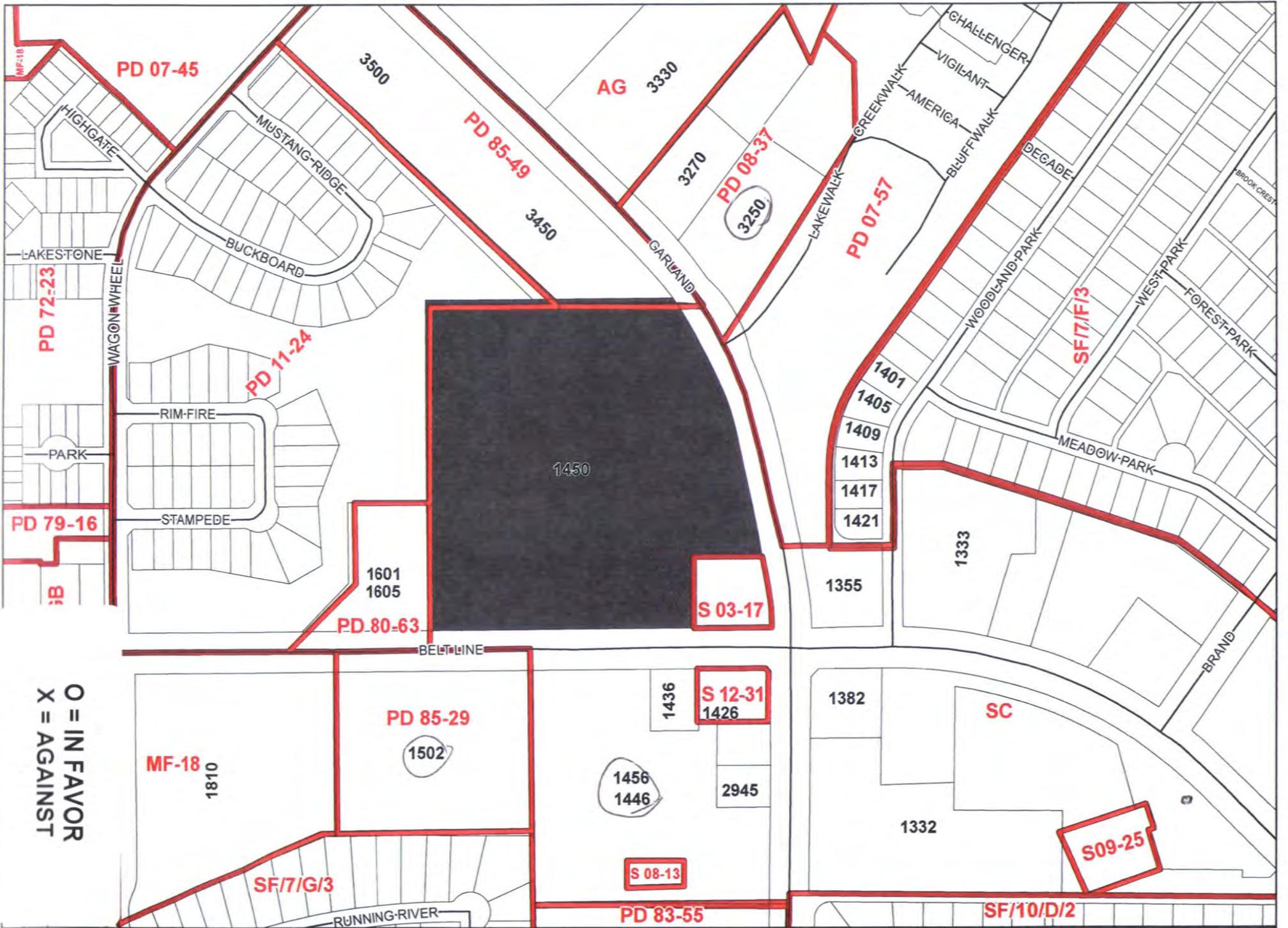
P.C. Meeting, July 28 2014 (8 Members Present)

Consideration of the application of Harlan Properties, Inc., requesting approval of 1) a change in zoning from Shopping Center (SC) District to a Planned Development (PD) District for Townhouses, 2) a Concept Plan and 3) a variance to Section 15A-1000 of the Zoning Ordinance regarding exterior materials. The property is located northwest of the intersection of Belt Line Road and North Garland Avenue. (File 14-31) (District 7)

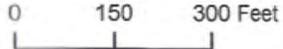
Representing the applicant, Bob Petitt, 1651 N. Glenville, Richardson, TX gave a brief overview of the request and further explained the reason for not providing alleys. Mr. Petitt remained available for questions.

Also representing the applicant, Suresh Shridharani, 2404 Texas Dr., Irving, TX, explained the proposed townhomes would be of the same quality and standards as their other community Shoal Creek.

Motion was made by Commissioner Vera, seconded by Commissioner Luckie to **approve** the request per staff recommendation. Motion **carried: 8 Ayes, 0 Nays.**



O = IN FAVOR
 X = AGAINST



ZONING Z 14-31

 INDICATES AREA OF REQUEST



GARLAND

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

July 17, 2014

HEARING DATE/TIME: Plan Commission: July 28, 2014 – 7:00 PM

APPLICANT: Harlan Properties

File 14-31

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 28, 2014, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Harlan Properties**, requesting approval of 1) a change in zoning from Shopping Center (SC) District to a Planned Development (PD) District for Townhouses and 2) a Concept Plan. The property is shown on the enclosed sketch and is described as follows:

Being a 13.757-acre tract of land situated in the Benjamin Frost Survey, Abstract No. 480 and being a tract of land described in a deed to Beltline Development, L.P. as recorded in Volume 99252, Page 06303, of the Deed Records of Dallas County, Texas, and also being the land described in a deed to The Brauman Group, LLC as recorded in Volume 99252, Page 6299, of the Deed Records of Dallas County, Texas. This property is located northwest of the intersection of Belt Line Road and North Garland Avenue. (District 7)

Note: The applicant requests the change of zoning and Concept Plan to develop the property with a townhouse development consisting of approximately 125 lots, subject to Detail Plan approval.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

- I am in favor of the request.
- I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address

Jennifer Chang
 Printed Name
1502 Beltline Road Garland, TX 75044
 Address City, State Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

[Signature] Owner
 Signature Title
 Date: 7/24/2014



GARLAND

July 17, 2014

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

HEARING DATE/TIME: Plan Commission: July 28, 2014 – 7:00 PM

APPLICANT: Harlan Properties

File 14-31

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 28, 2014, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Harlan Properties**, requesting approval of 1) a change in zoning from Shopping Center (SC) District to a Planned Development (PD) District for Townhouses and 2) a Concept Plan. The property is shown on the enclosed sketch and is described as follows:

Being a 13.757-acre tract of land situated in the Benjamin Frost Survey, Abstract No. 480 and being a tract of land described in a deed to Beltline Development, L.P. as recorded in Volume 99252, Page 06303, of the Deed Records of Dallas County, Texas, and also being the land described in a deed to The Brauman Group, LLC as recorded in Volume 99252, Page 6299, of the Deed Records of Dallas County, Texas. This property is located northwest of the intersection of Belt Line Road and North Garland Avenue. (District 7)

Note: The applicant requests the change of zoning and Concept Plan to develop the property with a townhouse development consisting of approximately 125 lots, subject to Detail Plan approval.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address 1476 1456 Beltline

Printed Name _____

Address Garland City, State _____ Zip _____

The above statements reflect my (our) opinion regarding the proposed request(s).

Ray J Ward
Signature
Date: 07/22/2014

owner
Title



GARLAND

July 17, 2014

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

HEARING DATE/TIME: Plan Commission: July 28, 2014 – 7:00 PM

APPLICANT: Harlan Properties

File 14-31

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 28, 2014, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Harlan Properties**, requesting approval of 1) a change in zoning from Shopping Center (SC) District to a Planned Deveipment (PD) District for Townhouses and 2) a Concept Plan. The property is shown on the enclosed sketch and is described as follows:

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Note: The applicant requests the change of zoning and Concept Plan to develop the property with a townhouse development consisting of approximately 125 lots, subject to Detail Plan approval.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

A residential development is better suited for the arca than a shopping center

(Please complete the following information)

Your Property Address

Mayberry Gardens 3250 N. Garland

Printed Name

Garland TX 75040

Address

City, State

Zip

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature

Date:

[Signature]
7/21/14

Title

President



GARLAND

July 17, 2014

CITY OF GARLAND
PLANNING DEPARTMENT
P.O. BOX 469002
GARLAND, TX 75046-9002

HEARING DATE/TIME: Plan Commission: July 28, 2014 – 7:00 PM

APPLICANT: Harlan Properties

File 14-31

Dear Property Owner:

A public hearing will be held by the Plan Commission of the City of Garland, Texas, at 7:00 P.M. Monday, July 28, 2014, in the Goldie Locke Room of the Duckworth Utility Services Building, 217 North Fifth Street, to consider the application of **Harlan Properties**, requesting approval of 1) a change in zoning from Shopping Center (SC) District to a Planned Deveopment (PD) District for Townhouses and 2) a Concept Plan. The property is shown on the enclosed sketch and is described as follows:

Being a 13.757-acre tract of land situated in the Benjamin Frost Survey, Abstract No. 480 and being a tract of land described in a deed to Beltline Development, L.P. as recorded in Volume 99252, Page 06303, of the Deed Records of Dallas County, Texas, and also being the land described in a deed to The Brauman Group, LLC as recorded in Volume 99252, Page 6299, of the Deed Records of Dallas County, Texas. This property is located northwest of the intersection of Belt Line Road and North Garland Avenue. (District 7)

Note: The applicant requests the change of zoning and Concept Plan to develop the property with a townhouse development consisting of approximately 125 lots, subject to Detail Plan approval.

To convey any concerns or opinions regarding the aforementioned request, please complete the below-listed section and return to **City of Garland, Planning Department, P.O. Box 469002, Garland, TX 75046-9002 or by fax to 972-205-2474**. Should you have any questions, please contact Chasidy Allen at 972-205-2445.

(Please Check One Below)

I am in favor of the request.

I am opposed to the request.

Please include any comments you wish to provide supporting your position in the space provided below.

(Please complete the following information)

Your Property Address 1138 BELTLINE ROAD

Printed Name HENRY L-GAINES

Address P.O. BOX 670513 City, State Dallas TX Zip 75369

The above statements reflect my (our) opinion regarding the proposed request(s).

Signature  Title _____
Date: 7-21-14

Outside the notification area



City Council Item Summary Sheet

Work Session

Date: 8/19/14

Agenda Item

Public Hearing on 2014-15 Proposed Budget

Summary of Request/Problem

Section 5, Article VII, of the City Charter requires that a public hearing be held on the Proposed Budget for the coming fiscal year. At the public hearing, all interested persons shall be given an opportunity to be heard for or against any item contained in the Proposed Budget.

The Proposed Budget for 2014-15 has been available for public inspection in the City libraries, in the City Secretary's Office, and on the City's website since August 6, 2014. A second public hearing on the Proposed Budget is scheduled for Thursday, August 28, 2014.

The 2014-15 Budget is scheduled to be adopted on September 2, 2014.

Recommendation/Action Requested and Justification

Open public hearing.
Take citizens' comments.
Close public hearing.

Submitted By:

**Ron Young, Director
Budget & Research**

Approved By:

**William E. Dollar
City Manager**



City Council Item Summary Sheet

Work Session

Date: 8/19/14

Agenda Item

Public Hearing on Proposed 2014-15 Tax Rate

Summary of Request/Problem

The Texas Property Tax Code, Section 26.05 (d), provides that a governing body may not adopt a tax rate that exceeds the lower of the rollback tax rate or the effective rate until the governing body has held two public hearings on the proposed tax rate and has otherwise complied with Section 26.06 and Section 26.065. The 2014-15 Proposed Budget is based on a tax rate of 72.38 cents per \$100 of valuation, which does exceed the effective tax rate of 68.43 cents due to a 3.7% increase in taxable values and a proposed 1.92 cent increase in the tax rate.

A second public hearing is set for Thursday, August 28th, 2014, at 7:00 P.M.

Proposed Tax Rate

	<u>Current</u>	<u>Change</u>	<u>Proposed</u>
O&M	39.40	1.92	41.32
Debt Service	<u>31.06</u>	<u>0.00</u>	<u>31.06</u>
Total Tax Rate	<u>70.46</u>	<u>1.92</u>	<u>72.38</u>

Mayor should read the following:

The tax rate is scheduled for adoption on Tuesday, September 2nd, 2014, at 7:00 P.M. in the Duckworth Building, Goldie Locke Room, 217 North Fifth Street, Garland, Texas.

Recommendation/Action Requested and Justification

Open public hearing.
Take public comments.
Close public hearing and Mayor read statement above.

Submitted By:

**Ron Young
Director
Budget and Research**

Approved By:

**William E. Dollar
City Manager**



City Council Item Summary Sheet

Work Session

Date: August 19, 2014

Agenda Item

Appointments to Boards and Commissions

Summary of Request/Problem

Council is requested to consider appointments to Boards and Commission.

Recommendation/Action Requested and Justification

Submitted By:

Approved By:

William E. Dollar
City Manager

D-5



GARLAND
GARLAND YOUTH COUNCIL

Application 2014-15

Name: Aquila Runyan

Address: 3113 South Country Club rd

City Council District: 3 Home Phone: 214-874-8391

Cell Phone: 214-874-1321

Parent/Guardian Cell Phone: 214-874-8391

Email: Aaquilarunyan@gmail.com

Parent/Guardian Email: Carmenrunyan@

Grade level in 2014-15 school year: 12th School: South Garland

Please answer the following questions. Feel free to type your answers on a separate paper and attach to the application.

In what activities/organizations do you participate in school, church or in the community?
At my school, I participate in AVID, Student Council, Link Class of 2015, and ~~AVOID~~ LIGHT Brigade crew,

How did you hear about the Garland Youth Council?
I heard about the Garland Youth Council through the newspaper.

Why do you want to serve on the Garland Youth Council?
I would like to serve on the Garland Youth Council because I am strong representative of the youth and can give out my great ideas that I have on making Garland

What are some challenges you feel Garland youth face in our community?
Some challenges I feel that the youth in our community is that there aren't many "kid-friendly" places for us to go to better

What do you see as positives for youth living in Garland?
One positive thing I see for the youth living in Garland is a voice. The Adults give us opportunities to voice our opinions on how we can better the community

CITY OF GARLAND
HUMAN RESOURCES

2014 MAY 16 PM 3:42



GARLAND
GARLAND YOUTH COUNCIL

Application 2014-15

Name: Max Maeck

Address: 2013 SWORD DR GARLAND TX 75044

City Council District: 7^v Home Phone:

Cell Phone: 9469 243 8683

Parent/Guardian Cell Phone: 214878-8991

Email: maxmaeck007@gmail.com

Parent/Guardian Email: maeckme@gmail.com

Grade level in 2014-15 school year: 10th School: LCHS

Please answer the following questions. Feel free to type your answers on a separate paper and attach to the application.

In what activities/organizations do you participate in school, church or in the community?

See attached

How did you hear about the Garland Youth Council?

Why do you want to serve on the Garland Youth Council?

What are some challenges you feel Garland youth face in our community?

What do you see as positives for youth living in Garland?

5 Some positives for youth of Gabon
is the variety of people & cultures along
with readily available libraries and shopping

centers to go to and hang out or just pass
the time.

May 9, 2014

To Whom It May Concern:

It is my honor to recommend Max Moeck to be a member of the Garland Youth Council. I have had Max in my Latin class for the past two school years. In my class he is an excellent student. He is a positive leader with a gift for listening to others and making everyone feel included.

Latin is an academically rigorous subject that requires much of its students. Max is able to meet and exceed both the academic expectations set by the curriculum and the behavior expectations I require. I think Max would be an excellent member of the Garland Youth Council because he consistently excels in any endeavor he undertakes. During the time I have known him, Max has participated in our school's band program, color guard at Lakeview High School, and in Latin Club, all while maintaining excellent grades in difficult classes. He is able to achieve a balance between school and extracurricular activities and do exceptionally well at both.

Max demonstrates many qualities of a leader. He works hard, but also has many friends. He is responsible and intelligent, and works well with teachers and other adults. He takes initiative and sees tasks that need to be done and then accomplishes them. Max is very gifted at including all members of a group and making all of them feel important and valued. He would be an asset to your organization.

I feel that Max would be an invaluable member of the Garland Youth Council.

Best regards,

A handwritten signature in black ink, appearing to read "Lisa McGill Druebert", with a long horizontal flourish extending to the right.

Lisa McGill Druebert
Latin Teacher, Classical Center at Brandenburg Middle School

The Calico Warriors
Martial Arts Academy

05/13/2014

Dear Sir or Madam:

Max Moeck has proven himself to be a great student and an even better leader. While with The Calico Warriors Martial Arts Academy he has developed strong relationships with the students and is dedicated to sharing the knowledge and passion he has for martial arts.

His organization skills lead directly to his ability to manage tasks well. He spends the time needed to prepare himself for greater challenges and to exceed the students needs and expectations.

We The Calico Warriors Martial Arts Academy are confident the he will have the same impact on you as he has had on us here at the dojo. Please feel free to contact us should you desire any additional information.

Best Regards,



Jason Guttridge
4th Degree Blackbelt
The Calico Warriors Martial Arts Academy



The Calico Warriors Martial Arts Academy
901 Beltline Rd Suite 108
Garland, TX 75040
214/500-0739
JasonGuttridge@gmail.com





Please Print or Type. **PLEASE DO NOT SEND RESUME.**

Return completed application to: City Secretary's Office, 200 North Fifth Street, Garland, Texas 75040

Board or Commission of first, second, and third choice: (**Garland Youth Council has a separate application)

- | | | |
|---|---|--|
| <input type="checkbox"/> Board of Adjustment | <input type="checkbox"/> Garland Cultural Arts Commission | <input type="checkbox"/> Parks and Recreation Board |
| <input type="checkbox"/> Building and Fire Codes Board | <input type="checkbox"/> Garland Youth Council ** | <input checked="" type="checkbox"/> Plan Commission * |
| <input type="checkbox"/> Citizens Environmental and Neighborhood Advisory Committee | <input type="checkbox"/> Housing Standards Board | <input type="checkbox"/> Plumbing and Mechanical Codes Board |
| <input type="checkbox"/> Community Multicultural Commission | <input type="checkbox"/> Library Board | <input type="checkbox"/> Senior Citizens Advisory Committee |
| <input type="checkbox"/> Electrical Board | | |

CITY OF GARLAND
RECEIVED
JUL 29 2014
CITY SECRETARY

Full Name: Louis A. Moore Jr.
 Home Address: 313 S. 11th St. Bus. Address: Retired
 City, State, Zip: Garland, TX 75040 City, State, Zip: _____
 Home Phone: 214-886-1009 Phone (Other): 972-276-8867
 Email Address: louismoores@yahoo.com
 Resident of Garland for 14 years Resident of Texas for 41 years
 Are you a registered voter in Dallas County? Yes No
 Voter Registration No. 1078107627 Precinct No. 1708 City Council District No. 2
 Have you ever been convicted of a felony? Yes No
 Have you ever been convicted of a Class A misdemeanor? Yes No

Please list any experience that qualifies you to serve in the areas you have indicated.
Garland Plan Commission District 2 - 2006-2012

If you have served on a City Board or Commission, please specify and list dates of service.
yes - see above

List civic or community endeavors with which you have been involved.
Garland Landmarks Society, Preservation Garland Boards for Hope Clinic, Salvation Army, Dallas Heritage Village

What is your educational background?
B.A. Baylor Master of Divinity, Southern Seminary, Louisville, Ky

What is your occupational experience?
Journalist, publisher, Real-estate investor

* Plan Commission members must own property within the city.

I hereby affirm that all statements herein are true and correct. Louis A. Moore Jr.
Signature of Applicant

FOR OFFICE USE ONLY

Ad Valorem Tax Status	Current <input checked="" type="checkbox"/>	Past Due <input type="checkbox"/>	Signatures <u>RP 7/30/14</u> Tax Clerk
Status of Utility Accounts	Current <input checked="" type="checkbox"/>	Past Due <input type="checkbox"/>	<u>RP 7/30/14</u> Accounting Clerk
Suit/Claim Filed in City Secretary's Office	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	<u>RP 7/30/14</u> City Secretary

Date Appointed _____
 Appointed By _____
 Date Notified _____
 Date Disclosure Form Filed _____



Board & Commission Application

Please Print or Type. PLEASE DO NOT SEND RESUME.

Return completed application to: City Secretary's Office, 200 North Fifth Street, Garland, Texas 75040

Board or Commission of first, second, and third choice: (Utility Advisory Board has a separate application)

- Board of Adjustment
- Building and Fire Codes Board
- Citizens Environmental and Neighborhood Advisory Committee
- Community Multicultural Commission
- Electrical Board
- Garland Cultural Arts Commission
- Garland Youth Council
- Housing Standards Board
- Library Board
- Parks and Recreation Board
- Plan Commission *
- Plumbing and Mechanical Codes Board
- Senior Citizens Advisory Committee

CITY OF GARLAND
RECEIVED
JUL 30 2014
CITY SECRETARY

Full Name: JOHN DAVID O'HARA
 Home Address: 3814 CAMBRIDGE DR Bus. Address: RETIRED
 City, State, Zip: GARLAND TX. 75043 City, State, Zip: GARLAND TX. 75043
 Home Phone: 214-621-2933 Phone (Other): 214-962-5538
 Email Address: LIGHTHOUSEINTX@aol.com Yahoo: com

Resident of Garland for 39 years Resident of Texas for 46 years
 Are you a registered voter in Dallas County? Yes No
 Voter Registration No. 1090567945 Precinct No. 1717 City Council District No. 4
 Have you ever been convicted of a felony? Yes No
 Have you ever been convicted of a Class A misdemeanor? Yes No

Please list any experience that qualifies you to serve in the areas you have indicated. TOURNEYMAN
PLUMBING LICENSE #1789 STATE INSPECTOR LICENSE
E-1273 BOTH STATE OF TX
 If you have served on a City Board or Commission, please specify and list dates of service.
PLAN COMMISSIONER 3-12-12 - PRESENT

List... or community endeavors with which you have been involved. 9 YRS CHAIR OF
7 YRS BOARD OF TRUSTEES EVANGELISM
AT ST. PHILIPS U.M.C.

What is your occupational experience? 2 YRS COLLAGE / 3 YRS TRADE SCHOOL
BUILDING INSPECTOR / CODE SPECIALIST WITH CITY OF
DALLAS

* Plan Commission members must own property within the city.
 I hereby affirm that all statements herein are true and correct. JOHN D. O'HARA
 Signature of Applicant

FOR OFFICE USE ONLY

Ad Valorem Tax Status	Current <input checked="" type="checkbox"/>	Past Due <input type="checkbox"/>	Signatures <u>JP 7/31/14</u> Tax Clerk
Status of Utility Accounts	Current <input checked="" type="checkbox"/>	Past Due <input type="checkbox"/>	<u>JP 7/31/14</u> Accounting Clerk
Suit/Claim Filed in City Secretary's Office	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	<u>JP 7/30</u> City Secretary

Date Appointed _____
 Appointed By _____
 Date Notified _____
 Date Disclosure Form Filed _____